

HADLEY PARK STAGE 1

14-278 Old Castlereagh Road, Castlereagh, NSW 2749

ARCHITECTURAL DRAWING LIST

WD001 Cover Page

WD100 Site Plan - Existing

WD200 Main House Plans - Existing
WD201 Main House Elevations - Existing
WD202 Main House Roof Plan and Laundry Elevations - Existing

WD300 Weatherboard Cottage Plan - Existing
WD301 Weatherboard Cottage Elevations - Existing
WD302 Reference Images - Gate, Chimneys, Render

WD400 Stables and Garage Plan - Existing
WD401 Stables and Garage Elevations - Existing

WD500 Creamery Plan - Existing
WD501 Creamery Elevations - Existing

WD600 Dairy and Milk Storage Shed Plan - Existing
WD601 Dairy and Milk Storage Shed Elevations - Existing
WD602 Race and Fencing Plan - Existing

WD700 Feed Store and Cow Bails Plan - Existing
WD701 Feed Store and Cow Bails Elevations - Existing
WD702 Feed Store and Cow Bails Roof Plan - Existing

WD800 Guest House Plan - Existing
WD801 Guest House Elevations - Existing

WD900 Hay Shed Plan - Existing Ground and Roof
WD901 Hay Shed Elevations - Existing

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE
STRUCTURAL AND CIVIL DOCUMENTATION.

STRUCTURAL DRAWING LIST

1842- S101 House Notes

1842- S102 House Ground Floor

1842- S103 House First Floor and Lower Ceiling Plans

1842- S104 House Upper Ceiling and Lower Roof Plans

1842- S105 House Elevations

1842- S106 House Sections and Details

1842- S107 Weatherboard Cottage Roof Framing Remedial Work Plan and Details

1842- S108 Timber Remedial Works Sections and Details Sheet 1

1842- S109 Timber Remedial Works Sections and Details Sheet 2

CONSULTANT CONTACT DETAILS

Consultant Structural - Ducros Design
Contact Person: Mark Du Cros
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Telephone: 9488 7374
Mobile: 0409 409 034
Email: mark@ducrosdesign.com.au

GENERAL NOTES

EXISTING MATERIALS WHICH HAVE
PREVIOUSLY BEEN REMOVED FROM THE
BUILDINGS ARE STOCKPILED IN THE FEED
STORAGE SHED.

NO EXISTING FABRIC IS TO BE REMOVED FROM
SITE OR DISPOSED OF WITHOUT WRITTEN
APPROVAL OF THE ARCHITECT.

SALVAGE LOOSE MATERIAL WHEREVER
POSSIBLE FOR POTENTIAL REINSTATEMENT
OR FUTURE USE.

SALVAGED MATERIAL NOT INCORPORATED IN
THE WORK IS TO BE STORED WITHIN STORAGE
SHED 2.

REVIEW THE CONDITION OF ALL SALVAGED
ITEMS. DETERMINE IF IT IS POSSIBLE TO
REINSTATE THEM IN THEIR ORIGINAL
LOCATION.

THE RETENTION OF EXISTING MATERIAL IS TO
BE MAXIMISED. IF EXISTING MATERIAL IS NOT
ABLE TO BE REPAIRED OR REINSTATED,
REPLACE WITH NEW TO MATCH EXISTING.

ALL MATERIALS AND SPECIFICATIONS ARE TO
MATCH THE EXISTING WITH LIKE FOR LIKE
REPLACEMENTS BEING APPROVED BY THE
ARCHITECT PRIOR TO THE INCORPORATION.

ALL NEW MATERIALS ARE TO BE INDELIBLY
AND DISCRETELY MARKED WITH THE YEAR OF
INSTALLATION IN ORDER TO DISTINGUISH
THEM FROM THE EXISTING FABRIC.

HEAVY MACHINERY IS NOT TO BE USED WITHIN
2 METRES OF THE EXTERIOR OF BUILDINGS
AND STRUCTURES.

ALL WORKS ARE TO BE UNDERTAKEN BY
SUITABLY QUALIFIED AND EXPERIENCED
TRADESPEOPLE.

VEGETATION ENCROACHING WITHIN THE
BUILDINGS, INCLUDING ROOFS AND FLOORS,
IS TO BE REMOVED.

BEFORE PRUNING OR LOPPING ANY TREES OR
SIGNIFICANT VEGETATION, OBTAIN ADVICE
FROM A HERITAGE LANDSCAPE CONSULTANT
AND ARBORIST.

EXISTING UNPAINTED ITEMS ARE TO REMAIN
UNPAINTED.

ARCHAEOLOGY NOTES

AN ARCHAEOLOGIST APPOINTED BY THE
PRINCIPAL IS TO SUPERVISE ALL EXCAVATION
WORKS, AND WORKS TO FLOORS AND OTHER
AREAS WHERE FINDS ARE LIKELY.

MANY MOVEABLE ITEMS HAVE BEEN FOUND IN
THE SOIL AROUND BUILDINGS AND DIRT
FLOORS WITHIN THE BUILDINGS. IT IS LIKELY
THAT MANY REMAIN. WHERE DIRT FLOORS
AND SOIL ARE NOTED TO BE REGRADED,
WORKS ARE TO BE CARRIED OUT WITH
SUPERVISION OF AN ARCHAEOLOGIST. ANY
OBJECTS EXPOSED ARE TO HAVE THEIR
LOCATIONS AND DETAILS RECORDED AND
RETAINED FOR INCLUSION IN THE MOVEABLE
COLLECTION STORED OFF-SITE.

METALWORK NOTES

ALL IRONMONGERY IS TO BE RETAINED IN
PLACE.

CHECK ALL ROOF SHEETS AND RE-SECURE AS
NECESSARY. FIXINGS TO MATCH EXISTING.

SALVAGE FALLEN SHEETS AND REVIEW
CONDITION FOR REINSTATEMENT.

ANY NEW SHEETS OF ROOF AND WALL
CLADDING ARE TO BE SUPPLIED IN SHORT
SHEET LENGTHS AND MATCH THE EXISTING
PROFILE AND FINISH

TREAT RUST WITH 'PENETROL' OR SIMILAR.

BRICKWORK NOTES

LOOSE BRICKS ARE TO BE SALVAGED AND
REVIEWED FOR RE-USE IN THE WORKS.
BRICKS SUITABLE FOR RE-USE ARE TO BE
DESALINATED PRIOR TO USE.

REPLACEMENT OF FRETTED BRICKWORK IS TO
BE UNDERTAKEN IN ACCORDANCE WITH
STRUCTURAL ENGINEER'S ADVICE AND IN
CONSULTATION WITH THE ARCHITECT.

WHERE REPOINTING OR REPLACEMENT OF
MORTAR IS REQUIRED, NEW MORTAR IS TO
MATCH EXISTING. SAMPLES TO BE PROVIDED
TO ARCHITECT FOR APPROVAL PRIOR TO
WORKS. REPAIRS TO CRACKING AND POINTING
ARE TO BE IN ACCORDANCE WITH
STRUCTURAL ENGINEER'S ADVICE.

ARCHIVAL RECORDING

PRIOR TO ANY DISASSEMBLY OR DEMOLITION
WORKS, THE EXISTING ASSEMBLY IS TO BE
DOCUMENTED IN ACCORDANCE WITH THE
NSW HERITAGE OFFICE GUIDELINES FOR
ARCHIVAL RECORDING.

TIMBER NOTES

INSPECT ALL TIMBER MEMBERS FOR DECAY
AND DAMAGE. DRILL TEST AREAS IDENTIFIED
IN ACCORDANCE WITH STRUCTURAL
ENGINEER'S ADVICE.

SPLICE EXTEND MEMBERS WHERE DAMAGE IS
PARTIAL IN ACCORDANCE WITH DOCUMENTED
DETAILS.

WHERE TIMBER MEMBERS ARE IN CONTACT
WITH THE GROUND, INJECT WITH
PENETRATING PRESERVATIVE. APPROVED BY
ARCHITECT PRIOR TO USE.

RE-FIX ANY LOOSE ITEMS. FIXINGS TO MATCH
EXISTING.

SALVAGE FALLEN WALL SLABS, TIMBER AND
METAL CLADDING. REVIEW CONDITION FOR
REINSTATEMENT.

EXPOSED ENDS OF TIMBER MEMBERS ARE TO
BE TREATED WITH PENETRATING
PRESERVATIVE. APPROVED BY ARCHITECT
PRIOR TO USE.

INSTALL NEW POSTS USING DURABILITY CLASS
2 HARDWOOD.

CONCRETE NOTES

RE-PACK UNDER EXISTING CONCRETE SLABS
WHERE SUB-GRADE HAS WASHED OUT.

STORMWATER DRAINAGE NOTES

THE EXISTING STORMWATER DRAINAGE LINES
ARE TO BE CHECKED TO ENSURE THEY DRAIN
FREELY. EXISTING DOWNPIPES TO THE HOUSE
ARE TO BE CONNECTED BELOW GROUND TO
THE EXISTING SYSTEM. REFER TO
CIVIL/SERVICES ENGINEERING
DOCUMENTATION.

HYDRAULIC SERVICES

CAP OFF HYDRAULIC SERVICES IN THE
EXISTING LAUNDRY BUILDING TO FACILITATE
THE BUILDING'S DEMOLITION.

PEST MANAGEMENT NOTES

EXISTING PEST CONTROL MEASURES IN PLACE
ARE TO BE MAINTAINED UNDISTURBED DURING
THE WORKS. IF DISTURBANCE IS
UNAVOIDABLE, ALLOW EQUIVALENT
TEMPORARY MEASURES FOR THE DURATION
OF THE PROJECT.

WHERE EXPOSING THE BASE OF MEMBERS
SET INTO THE GROUND, CLEAR OUT ANY
TERMITE NESTS OR SIMILAR AND AFFECTED
SOIL, IF FOUND.



Department of Planning
and Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 23/907

Approved on: 23 June 2023

Signed: AW Sheet No: 1 of 35

GENERAL NOTES

All building work to comply with relevant Australian Standards.
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All dimensions to be checked on site prior to manufacture and
construction. Figured dimensions to be used at all times.
Contractor is responsible for correct setting out with particular
reference to boundaries, building lines, etc. Contractor to verify all
levels, heights and dimensions on site. Contractor is to locate and
identify existing services on the site and to protect these from
damage throughout the duration of the works. Any errors,
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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM



ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

300MM ON ORIGINAL

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

COVER SHEET AND NOTES

SCALE SHEET SIZE

N.T.S. A3

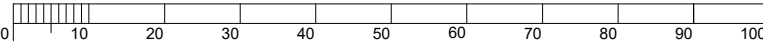
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2110 WD001 F

A3





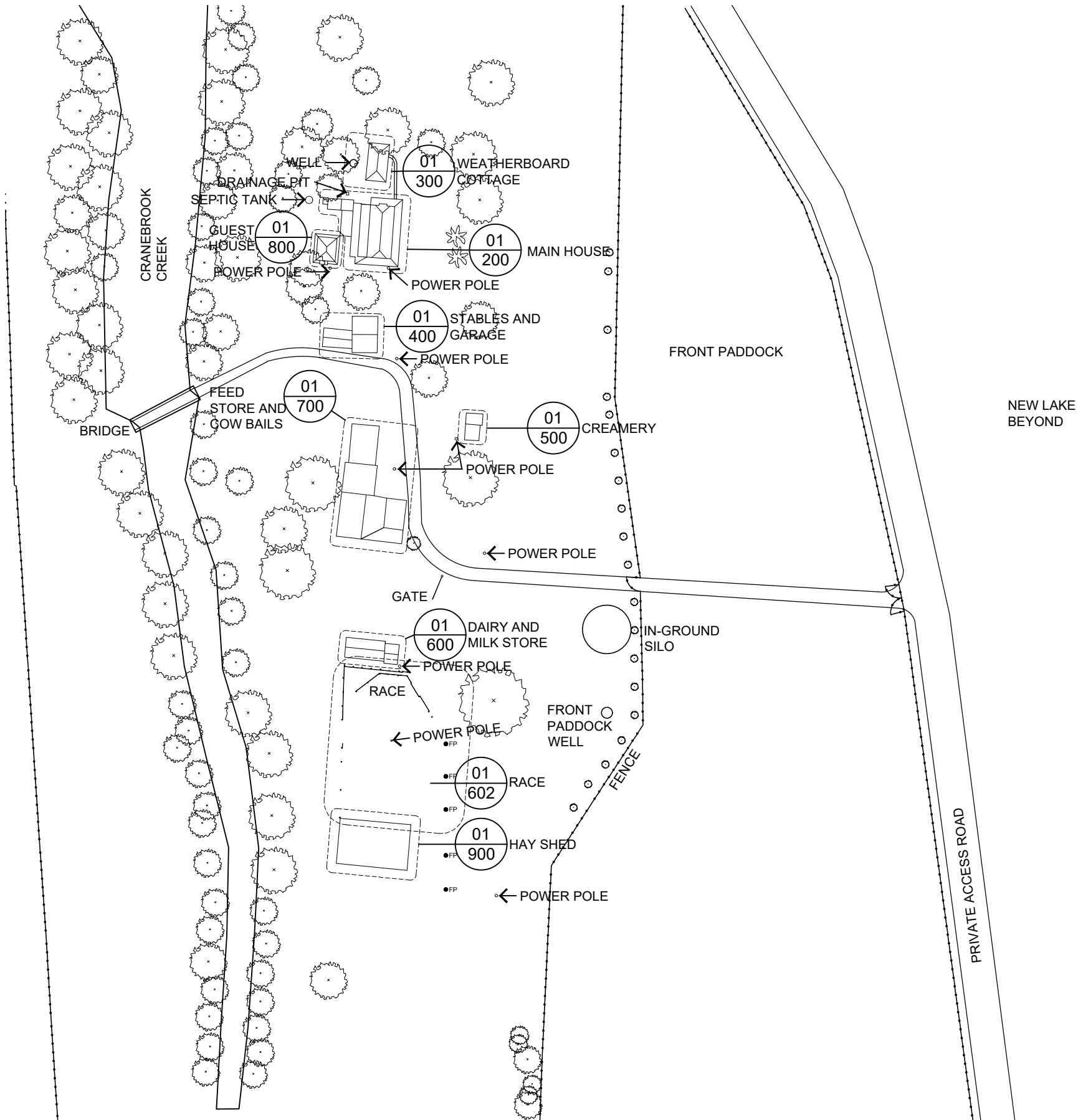
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NOTES:

FRONT PADDOCK WELL:
NUMBER AND RECORD THE LOCATION OF THE BRICKS IN THE TOP 6 COURSES OF THE WELL.
WHEN FIRST 6 COURSES HAVE BEEN DISMANTLED, INVESTIGATE THE METAL STRAPPING AND TREAT WITH 'PENETROL' OR SIMILAR AND RESET.
POISON TREE ROOT AND REMOVE.
DRY LAY THE BRICKS IN THE SAME LOCATIONS AS PREVIOUSLY. FOR THE LAST 3 COURSES FILL PERPENDS WITH SUITABLE SOFT LIME MORTAR AND FLAUNCH AT THE BACK.
REGRADE THE GROUND SURFACE AROUND THE WELL TO PREVENT OVERLAND FLOW ENTERING THE WELL.
SPRAY FIRST 1.2 m (OR AS FAR AS PRACTICAL REACH ALLOWS) WITH LIME WATER TO REDUCE SURFACE FRETTING. ALLOW FOR ARCHAEOLOGICAL SUPERVISION TO ALL WORKS TO THE WELL.

FENCES AND GATES:
PROVIDE NEW HARDWOOD TIMBER POSTS TO EXISTING HOLES. ALLOW FOR 5 POSTS TO EXTEND 1450 mm ABOVE FINISHED GROUND LEVEL POST TO MATCH EXISTING.
FOR ALL EXISTING AND NEW POSTS SET INTO THE GROUND, POLE INFUSE WITH PENETRATIVE PRESERVATIVE.
CHECK OVER EXISTING FENCES AND GATES. RE-FIX LOOSE RAILS. TREAT RUST ON HINGES AND HARDWARE WITH 'PENETROL' OR SIMILAR.
FOR ALL EXISTING AND NEW TIMBER POSTS SET INTO GROUND, POLE INFUSE WITH PENETRATING PRESERVATIVE.
RECONSTRUCT FRONT GATE FROM PIECES STORED ON SITE. REPAIR TIMBERS AS NEEDED. ONCE COMPLETE, STORE SECURELY ON SITE FOR FUTURE REINSTATEMENT. REFER TO WD302 FOR IMAGES.

LEGEND:
ESTIMATED POSITION OF EXISTING HOLE OF FORMER FENCE POST. INFILL WITH NEW POST PER "FENCES AND GATES" ABOVE.

CLIENT		DRAWING TITLE	
DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT		SITE PLAN	
PROJECT TITLE		SCALE	
HADLEY PARK STAGE 1		1:1000	
PROJECT ADDRESS		SHEET SIZE	
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749		A3	
DESIGNED		DRAWN	
MB		JP	
JOB No.		REVISION	
2110		WD100 G	

01 PLAN
-- SITE
1:1000

GENERAL NOTES
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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



ARCHITECTURE INTERIORS HERITAGE

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Registration Number 6596

GENERAL NOTES:

HOUSE:

BRICKS ARE TO BE TREATED WITH LIME WATER AND LIME WASHED IN ACCORDANCE WITH THE AGREED METHODOLOGY.
INSPECT ALL VERANDAH POSTS AND BASES. RESET AND CORRECT AS NECESSARY. CHECK SCARFED JOINTS AND RESEAT IF SEPARATING.
CHECK OVER ALL ROOF SHEETS AND RE-SECURE AS NECESSARY. FIXINGS TO MATCH EXISTING.
INSPECT ALL FLASHINGS AND CAPPINGS. REPAIR AND CORRECT AS NECESSARY.

STORMWATER DRAINAGE:

RE-ROUTE EXISTING DOWNPIPES TO DRAIN BELOW GROUND TO PIT NEAR LAUNDRY. CHECK PIT AND LINES DRAIN CORRECTLY. EXTEND OUTLET TO CRANEBROOK CREEK TO WEST OF SITE.

KEY:

REMOVE SACRIFICIAL RENDER, CLEAN AND LIMEWASH BRICKS TO APPROVED METHODOLOGY. REFER TO WD302 FOR IMAGES.

AREAS OF FLOOR OPENED UP PREVIOUSLY

ADJUST AND RESEAT DOOR

POST HAS DROPPED. RESET.

REPAIR WALER TO STRUCTURAL ENGINEER'S DETAILS

OPEN UP FIBRO PART OF CEILING TO INVESTIGATE CONDITION OF CEILING TIMBERS

POWER POLE

TAKE UP CONCRETE VERANDAH FLOOR AND REPLACE WITH SANDSTOCK BRICK PAVERS TO DETAIL.

ALLOW TO PATCH REPAIR 30% OF CEILING

ALLOW TO PATCH REPAIR 50% OF CEILING

STRAIGHTEN ALL VERANDAH BEAMS OVER, SHOWN DASHED.

REVIEW STABILITY OF WC BEFORE DEMOLISHING LAUNDRY. REPLACE ANY MISSING OR SEVERELY DAMAGED WEATHERBOARDS WITH NEW TO MATCH EXISTING.

DEMOLISH LAUNDRY. ALLOW NEW TEMPORARY PROPS TO SUPPORT VERANDAH ROOF DURING DEMOLITION. ALLOW FOR NEW POSTS TO SUPPORT VERANDAH ROOF ONCE DEMOLITION WORKS ARE COMPLETE.

INVESTIGATE AND REPAIR LEAKS TO LOWER ROOF.

NEW POST TO STRUCTURAL ENGINEER'S DETAILS

DIRECT AND CONNECT STORMWATER FROM HOUSE UNDERGROUND TO THIS PIT. REFER TO STORMWATER DRAINAGE UNDER GENERAL NOTES OF THIS DRAWING.

EXISTING LEAD FLASHING HAS SLIPPED. REFIT AND REPOINT AT WALL WITH LIME MORTAR.

REPAIR VERANDAH ROOF TO METHODOLOGY AS AGREED WITH ARCHITECT.

DISMANTLE EXISTING STONE CHIMNEY PIECE AND RECONSTRUCT LEVEL AND SOUND. REFER TO WD302 FOR IMAGES.

REINSTATE POST TO STRUCTURAL ENGINEER'S DETAILS.

LINE OF UPPER ROOF OVER SHOWN DASHED.

REVIEW VERANDAH ROOF BATTENS. ALLOW TO REPAIR AS NECESSARY.



DETACH JOINED ROOF ELEMENTS AND MAKE GOOD SO WC IS SOUND AND WATERTIGHT.

ALLOW NEW POST TO SUPPORT THIS AREA OF ROOF TO STRUCTURAL ENGINEER'S DETAILS.

REMOVE EXISTING WALER PLATE TO STRUCTURAL ENGINEER'S DETAILS.

ROOF SPACE
REVIEW FRAME FOR EVIDENCE OF DOOR LEAF
USE ROOF SPACE TO CHECK CONDITION OF CEILING TIMBERS FOR ROOMS BELOW

BEDROOM 2
RIPPLE IRON CEILING

BEDROOM 3
HESSIAN FABRIC CEILING ABOVE RAFTERS. EVIDENCE OF FORMER CANVAS CEILING

REMOVE EXISTING QUAD GUTTERS AND EXISTING GUTTER BRACKETS FROM HOUSE. REPLACE WITH NEW HALF-ROUND GALVANISED STEEL GUTTERS SIZED TO HYDRAULIC CONSULTANTS SPECIFICATION ON NEW GALVANISED STEEL DOWNPIPES IN EXISTING LOCATIONS. CONNECT ALL DOWNPIPES TO NEW STORMWATER DRAINAGE INGROUND.

ALLOW TO PATCH REPAIR 50% OF LATH AND PLASTER CEILING. CHECK CONDITION OF TIMBER BOARD CEILING.

01 PLAN
--
MAIN HOUSE GROUND FLOOR
1:100

02 PLAN
--
MAIN HOUSE FIRST FLOOR
1:100

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200MM

300MM ON ORIGINAL



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DRAWING TITLE
MAIN HOUSE
PLANS

SCALE
1:100

SHEET SIZE
A3

DESIGNED
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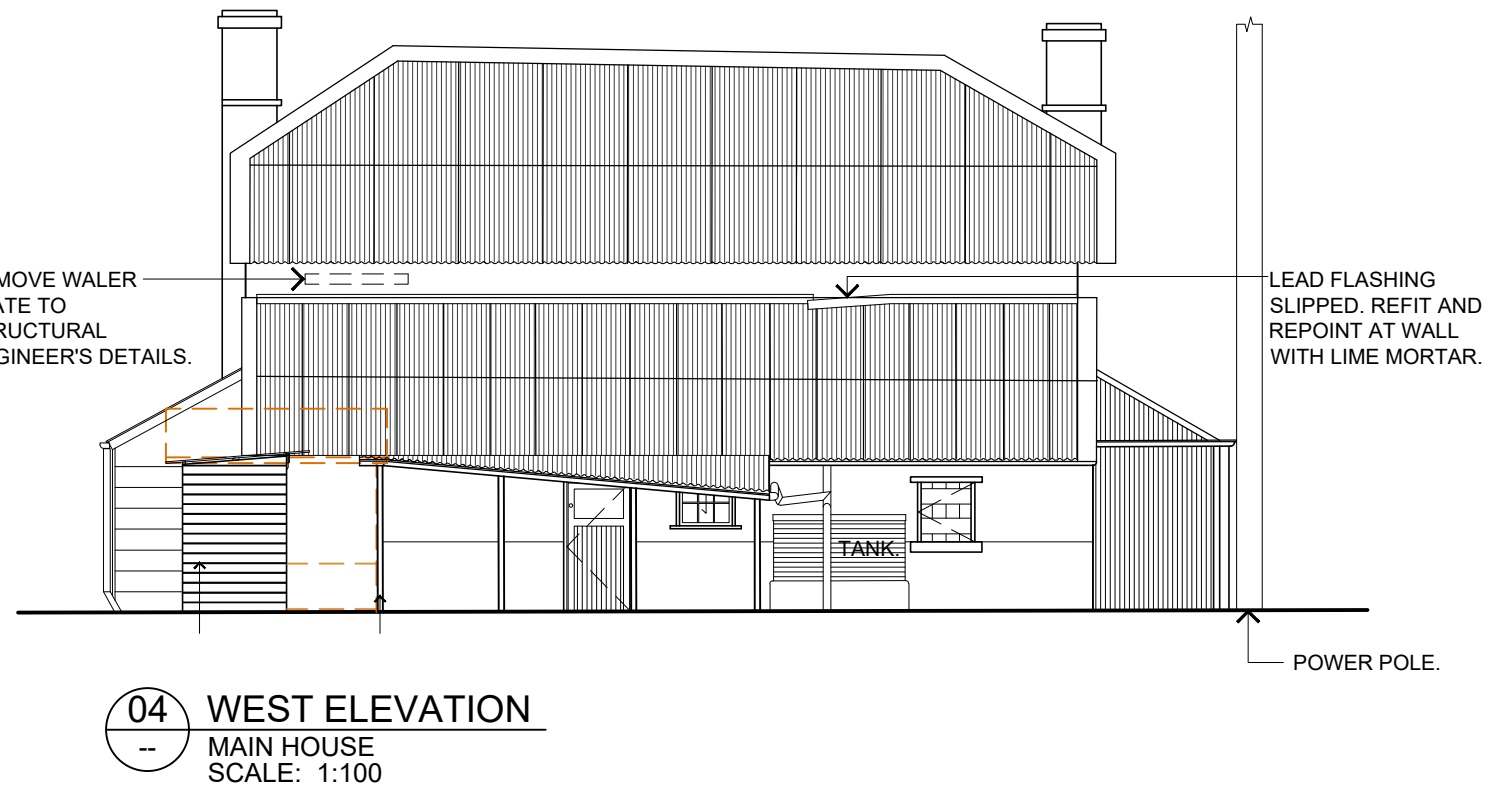
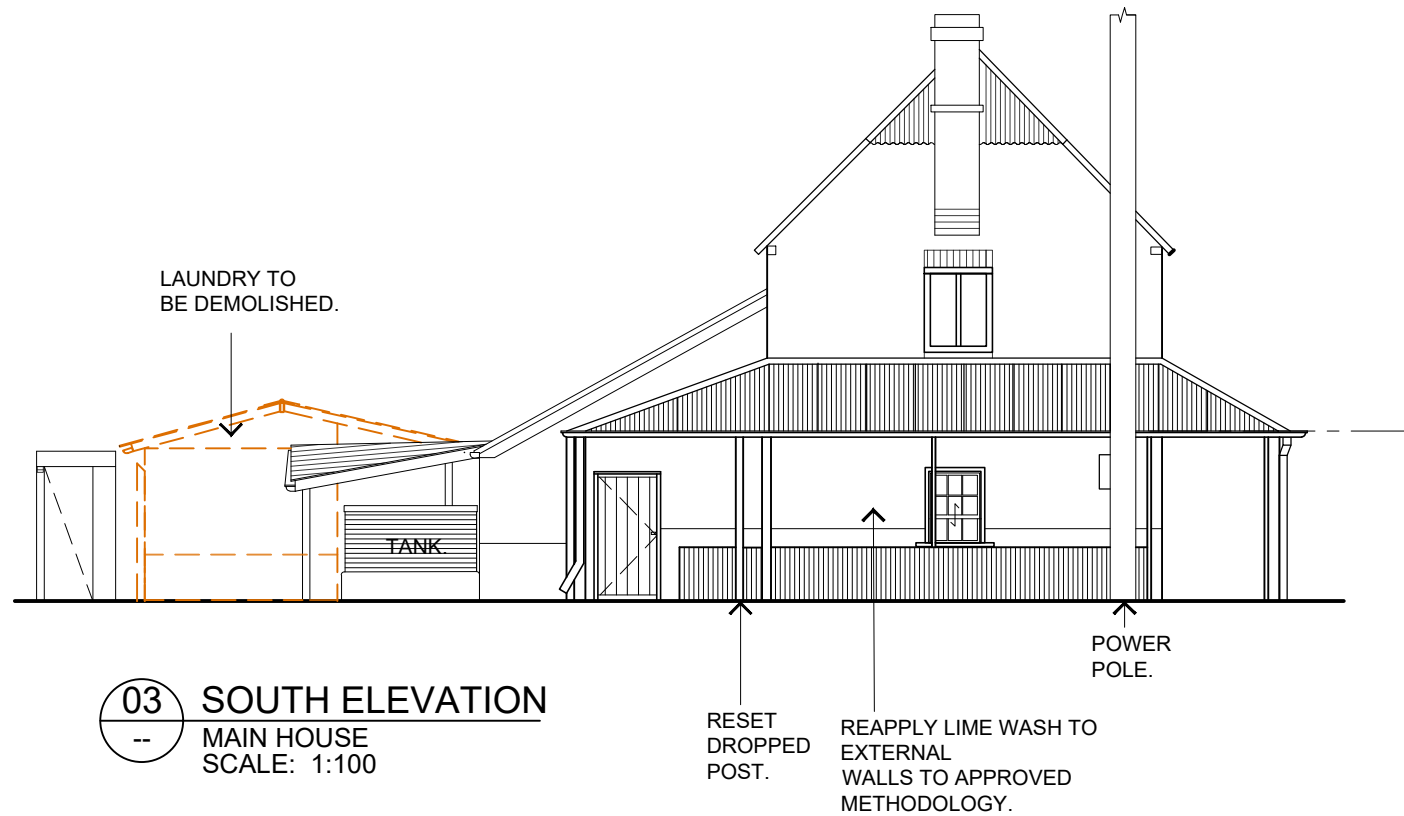
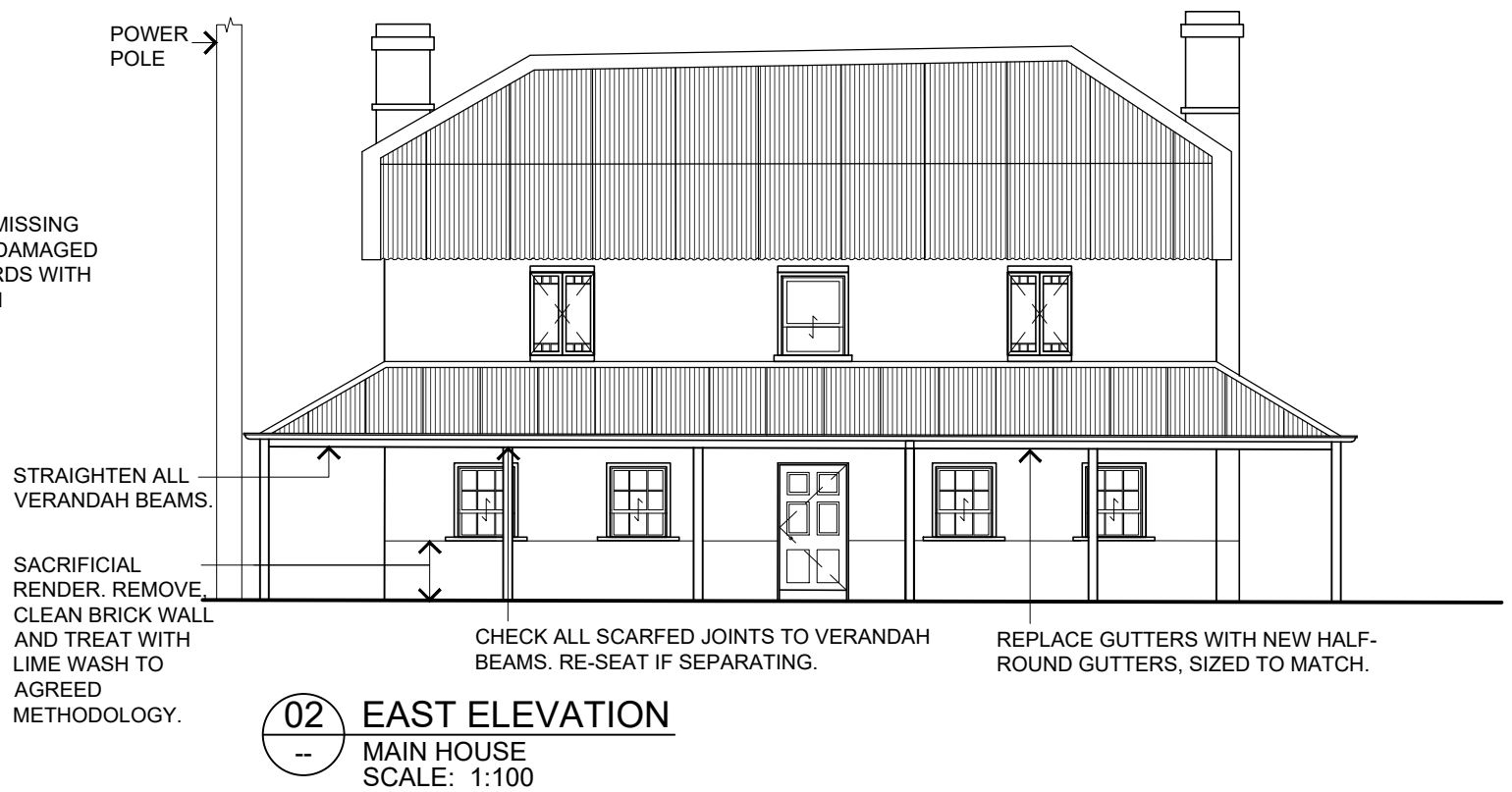
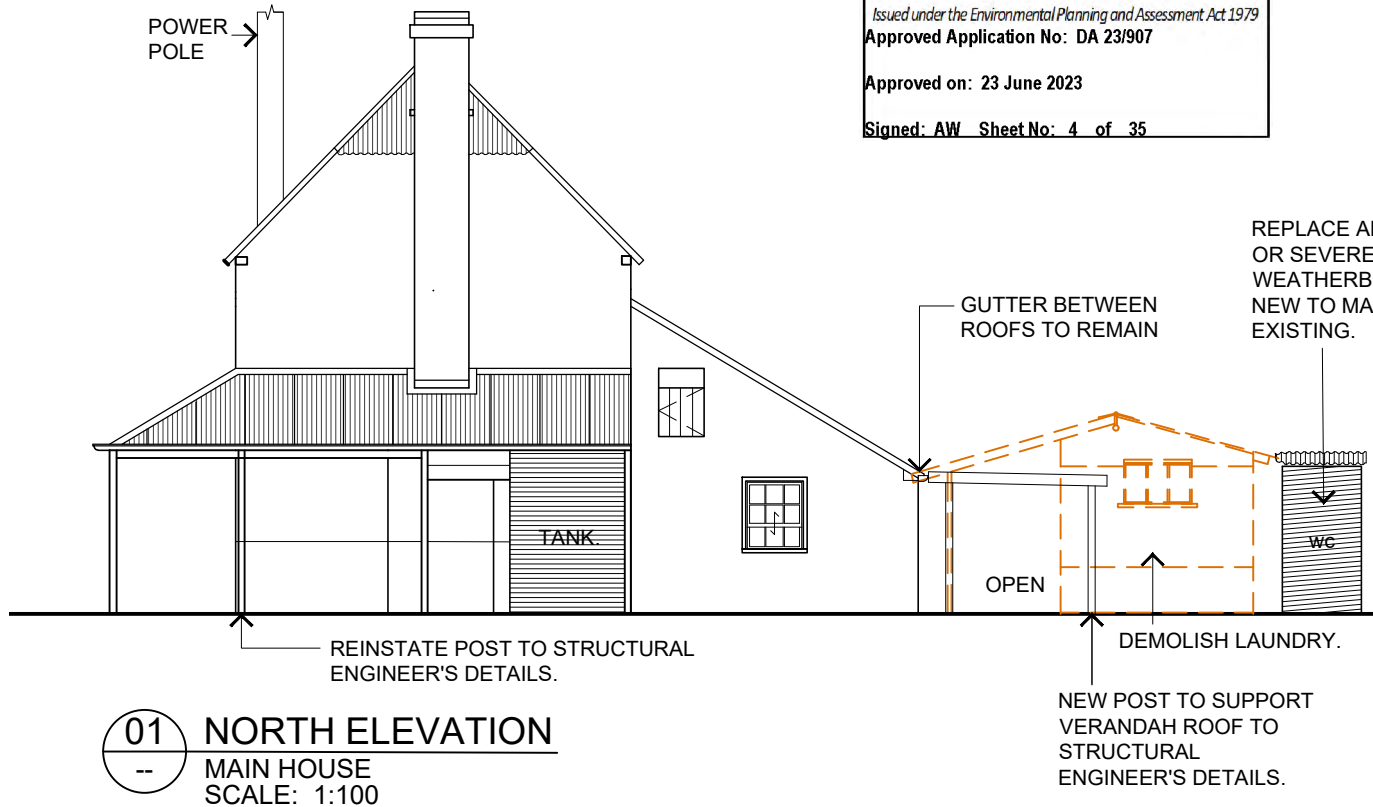
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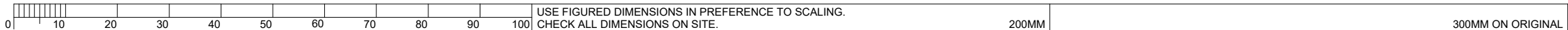
MAIN HOUSE
ELEVATIONS

SCALE SHEET SIZE
1:100 A3

DESIGNED DRAWN CHECKED
MS JP

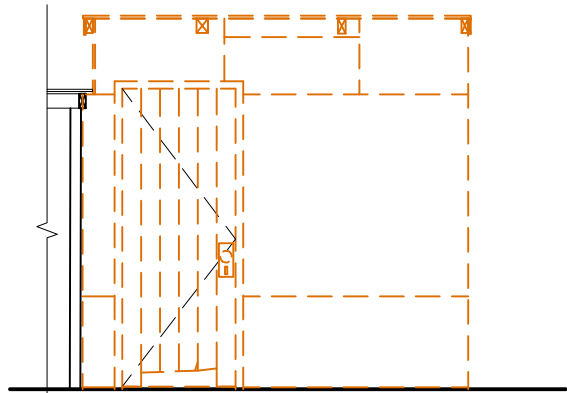
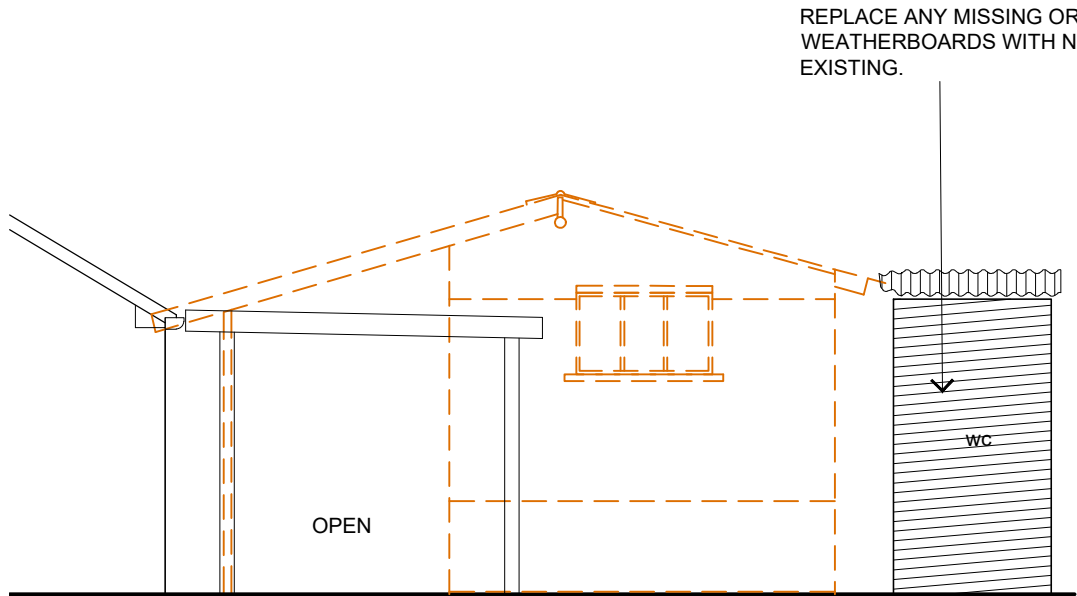
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2110 WD201 H

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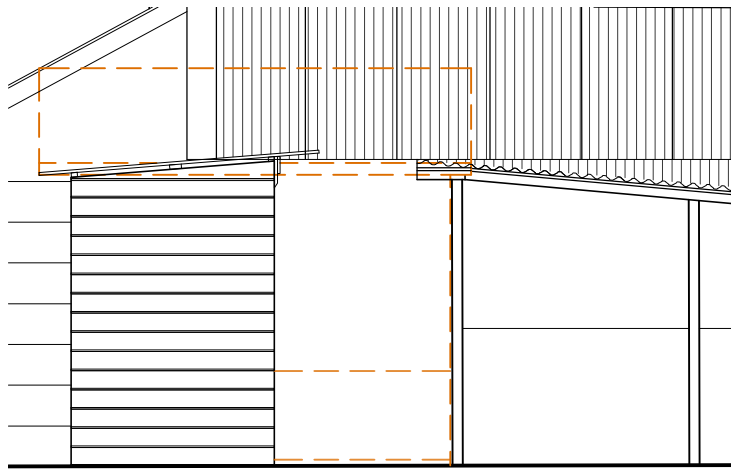
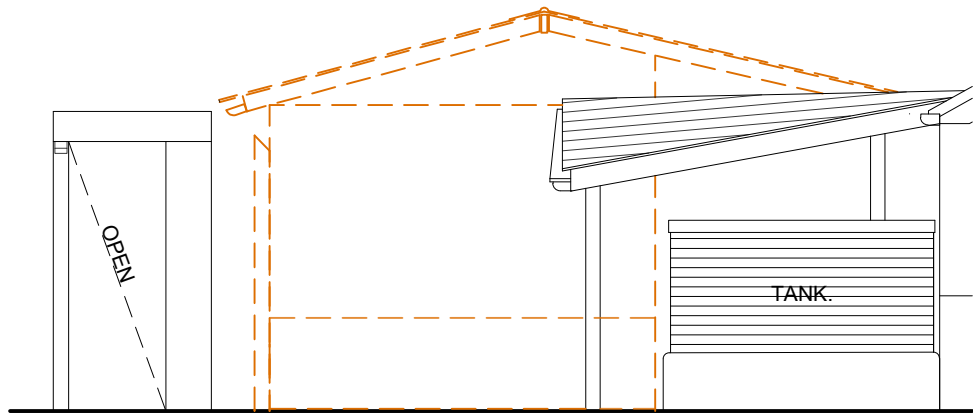
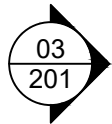
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

NOTES:
THE LAUNDRY BUILDING IS TO BE
DEMOLISHED. CHECK STABILITY OF WC
BEFORE COMMENCING. ALLOW NEW POSTS
TO EAST SIDE OF ROOF - PROP
TEMPORARILY DURING WORKS.
ALLOW TO DISCONNECT AND CAP EXISTING
SERVICES TO LAUNDRY. RECORD
LOCATIONS FOR POSSIBLE FUTURE USE.



01 NORTH ELEVATION
LAUNDRY AND WC
SCALE: 1:50

02 EAST ELEVATION
LAUNDRY
SCALE: 1:50

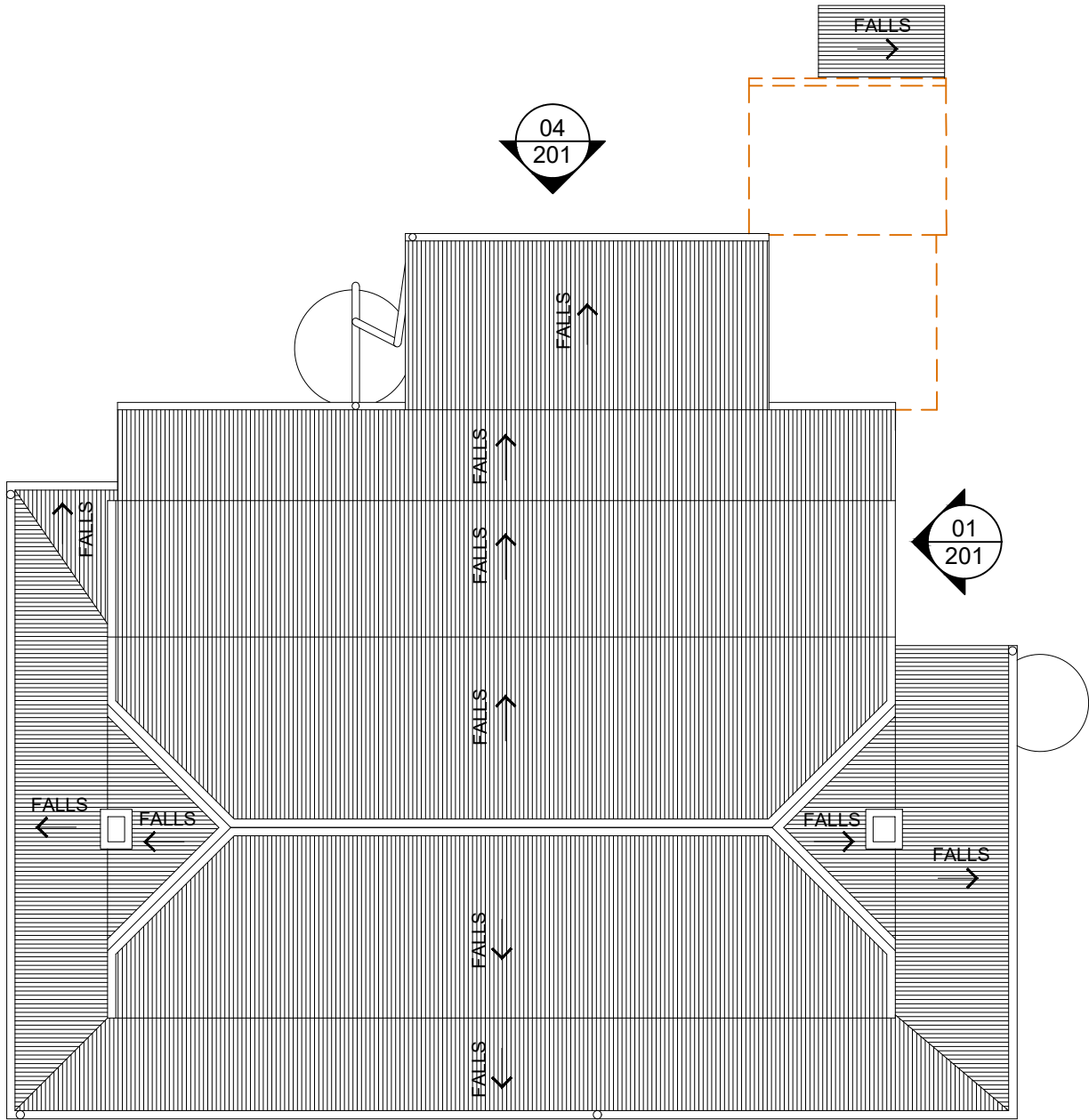


WEATHERBOARD CLADDING.

NEW POST TO STRUCTURAL
ENGINEER'S DETAILS.

03 SOUTH ELEVATION
LAUNDRY AND WC
SCALE: 1:50

04 WEST ELEVATION
LAUNDRY
SCALE: 1:50



05 ROOF PLAN
HOUSE
SCALE: 1:100



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Pty Ltd.

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G	08/12/22	CONSULTANT INFORMATION	MS
H	14/12/22	DEVELOPMENT APPLICATION	MS

AK
ES
MS
MS
MS



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

MAIN HOUSE ROOF PLAN AND
LAUNDRY ELEVATIONS

SCALE SHEET SIZE

1:50 A3

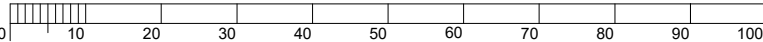
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MS JP

JOB No. DRAWING No. REVISION

2110 WD202 H

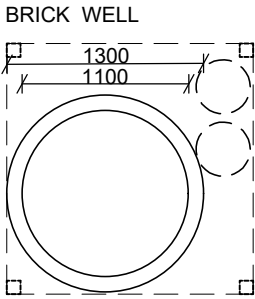
A3



USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



PREVIOUS WALLS, POSTS AND TANKS SHOWN DASHED. THESE WERE DEMOLISHED BY A STORM IN NOVEMBER 2021. ITEMS ARE CURRENTLY STORED IN THE FEED STORAGE SHED.



Department of Planning
and Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 23/907

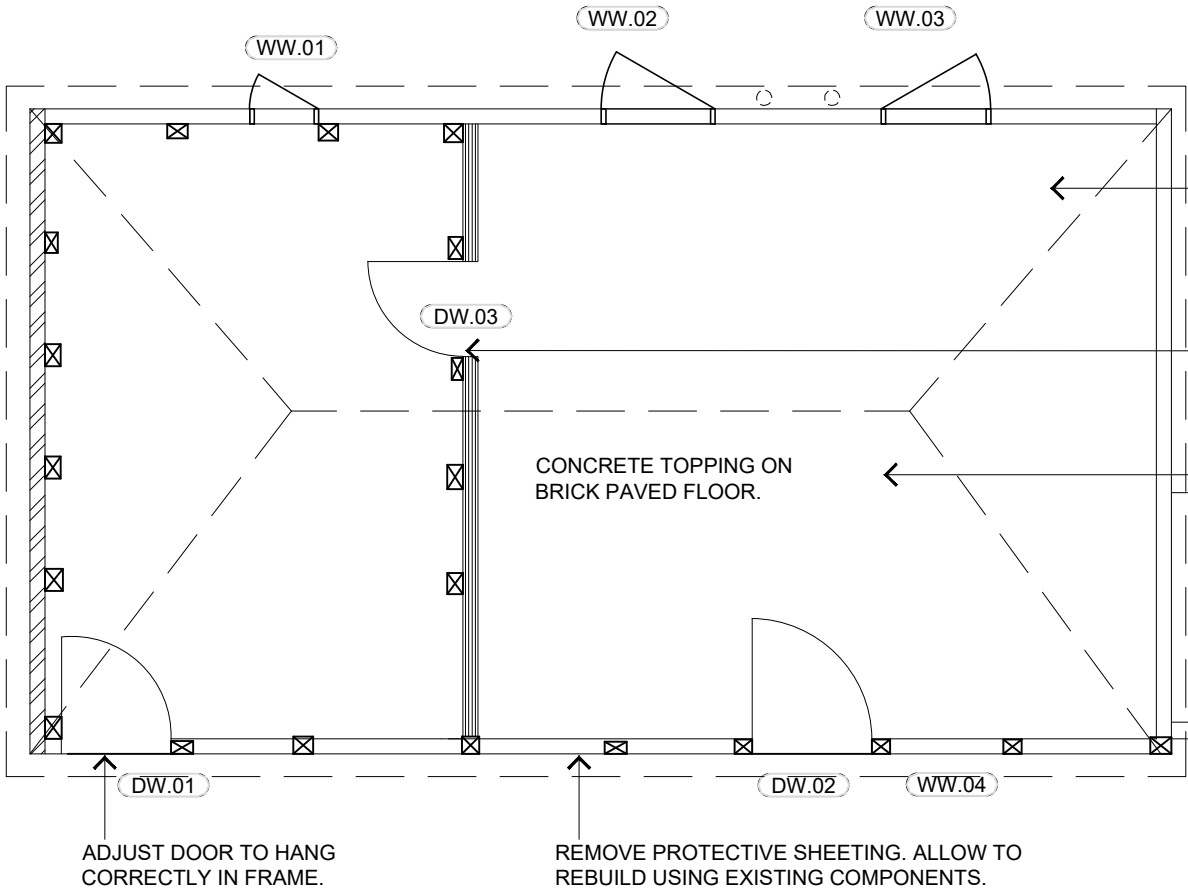
Approved on: 23 June 2023

Signed: AW Sheet No: 6 of 35

NOTES:
GENERAL:
RE-GRADE GROUND LEVELS TO FALL AWAY FROM BUILDING.

WORKS TO WELL:
NUMBER AND RECORD THE LOCATION OF THE BRICKS IN THE TOP 6 COURSES OF THE WELL.
DISMANTLE TOP 6 COURSES OF BRICKWORK, INVESTIGATE THE REASON FOR LIFTING IN THE COURSE BEDDING AT THE 6TH COURSE.
ADDRESS CAUSE AND RE-LAY. DRY LAY THE BRICKS IN THE SAME LOCATIONS AS PREVIOUSLY. FOR THE LAST 3 COURSES FILL PERPENDS WITH SUITABLE SOFT LIME MORTAR AND FLAUNCH AT BACK.
RE-GRADE GROUND SURFACE AROUND WELL TO PREVENT OVERLAND FLOW ENTERING THE WELL.
SPRAY FIRST 1.2m (OR AS FAR AS PRACTICAL REACH ALLOWS) WITH LIME MORTAR TO REDUCE SURFACE FRETTING.
ALLOW FOR ARCHEOLOGICAL SUPERVISION TO ALL WORKS TO WELL.

INTERNAL WORKS TO COTTAGE:
LIFT WIRE TIES TO ABOVE CEILING LEVEL.

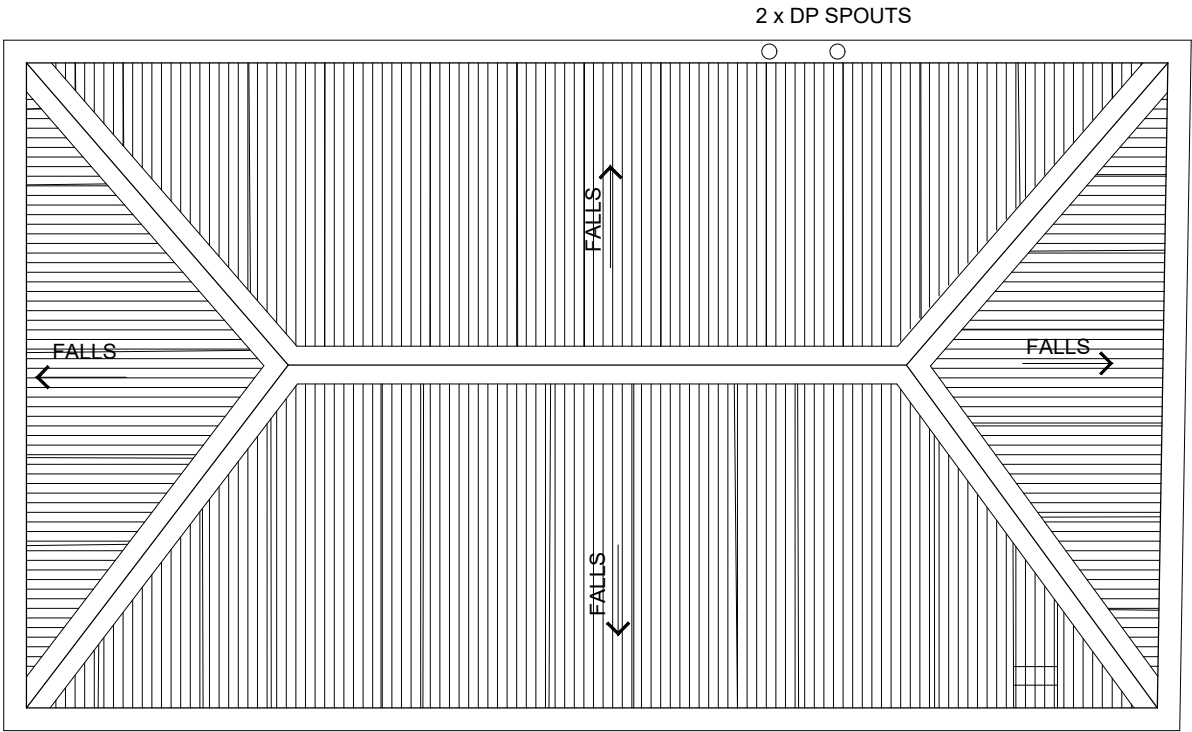


REMOVE CONCRETE TOPPING
PROVIDE PROTECTIVE FLOOR
THAT ALLOWS ORIGINAL BRICK
FLOOR TO BE VIEWED AS PART
OF THE RESTORATION WORKS.

REPLACE WITH BOARDED AND
LEDGED DOOR. ASSESS
EXISTING STRAP HINGES FOR
RE-USE.

RECONSTRUCT AND REINSTALL
DOOR AND WINDOW JOINERY
THROUGHOUT INCLUDING
SHUTTERS ONCE REMEDIAL
STRUCTURAL WORKS ARE
COMPLETE.

EXISTING CHIMNEY REMNANTS.
RECONSTRUCT FIREPLACE TO
THE EXTENT POSSIBLE USING
EXISTING REMNANT FABRIC IN
CONSULTATION WITH
ARCHITECT. REFER TO IMAGE
ON WD302.



01

PLAN

WEATHERBOARD COTTAGE

1:50

02

ROOF PLAN

WEATHERBOARD COTTAGE

1:50

GENERAL NOTES

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ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
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Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT
DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
WEATHERBOARD COTTAGE
PLANS

SCALE
1:50

SHEET SIZE
A3

DESIGNED
-

DRAWN
MB

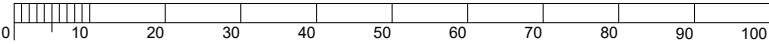
CHECKED
JP

JOB No.
2110

DRAWING No.
WD300

REVISION
G

A3



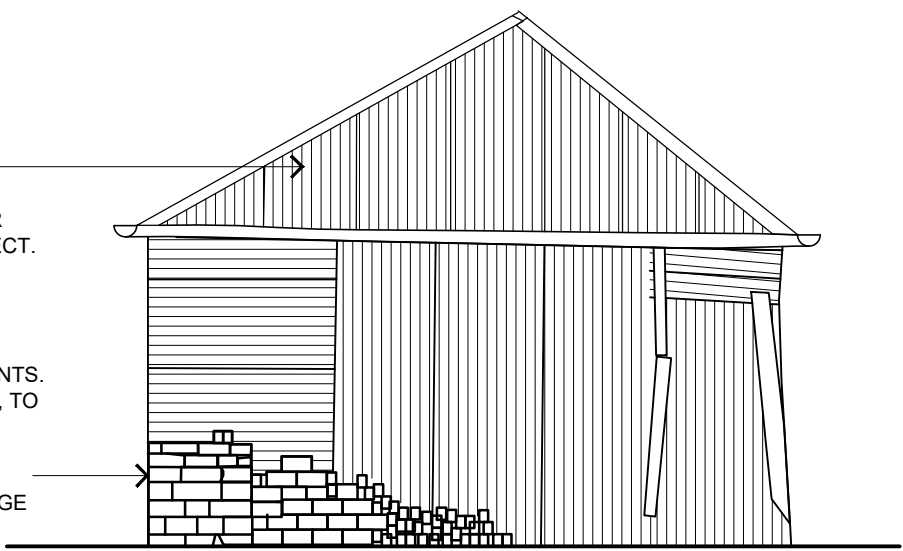
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL

REVIEW EXISTING ROOF
TIMBERS, IF NECESSARY
REPLACE TO MATCH AFTER
DISCUSSION WITH ARCHITECT.

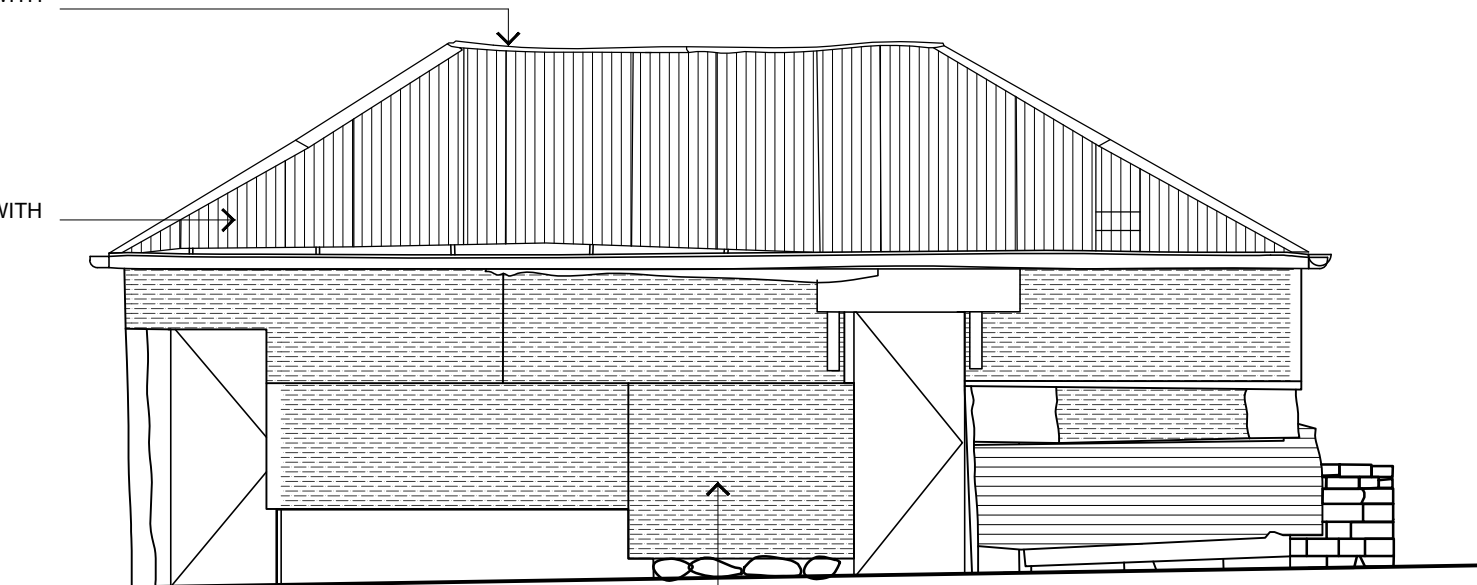
EXISTING CHIMNEY REMNANTS.
RECONSTRUCT FIREPLACE, TO
EXTENT POSSIBLE, USING
EXISTING FABRIC IN
CONSULTATION WITH
ARCHITECT. REFER TO IMAGE
ON WD302.



01 NORTH ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

TREAT ROOF WITH
'PENETROL'.

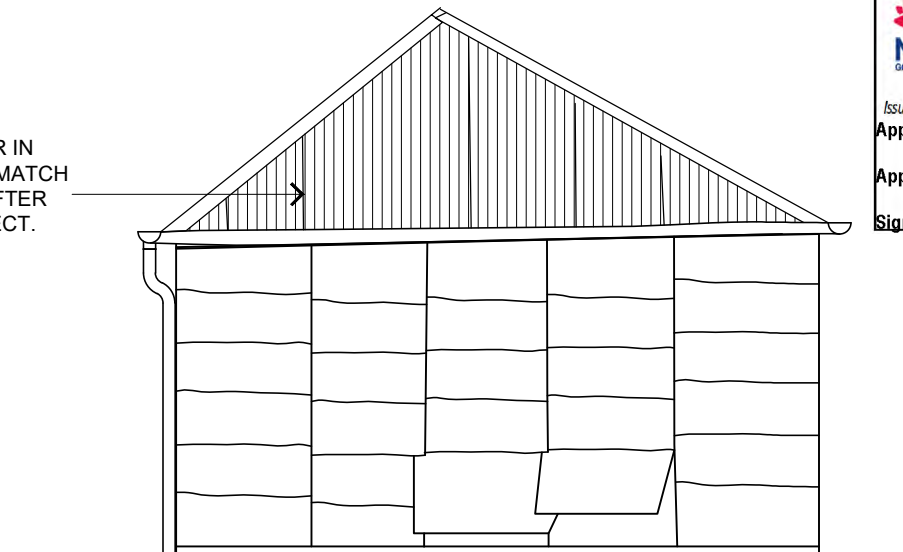
TREAT ROOF WITH
'PENETROL'.



02 EAST ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

REMOVE POLYCARBONATE SHEET AND PLANT
GROWTH BEHIND. INVESTIGATE MATERIAL BELOW
SHEETING AND DEVELOP REMEDIATION STRATEGY
ACCORDINGLY. REPAIR TIMBER SLABS AND
WEATHERBOARDS OF WALL CLADDING. WHERE
SLABS AND BOARDS CANNOT BE REUSED, REPLACE
WITH NEW TO MATCH EXISTING.

IDENTIFY DAMAGED TIMBER IN
CEILING AND REPLACE TO MATCH
EXISTING IF NECESSARY AFTER
DISCUSSION WITH ARCHITECT.



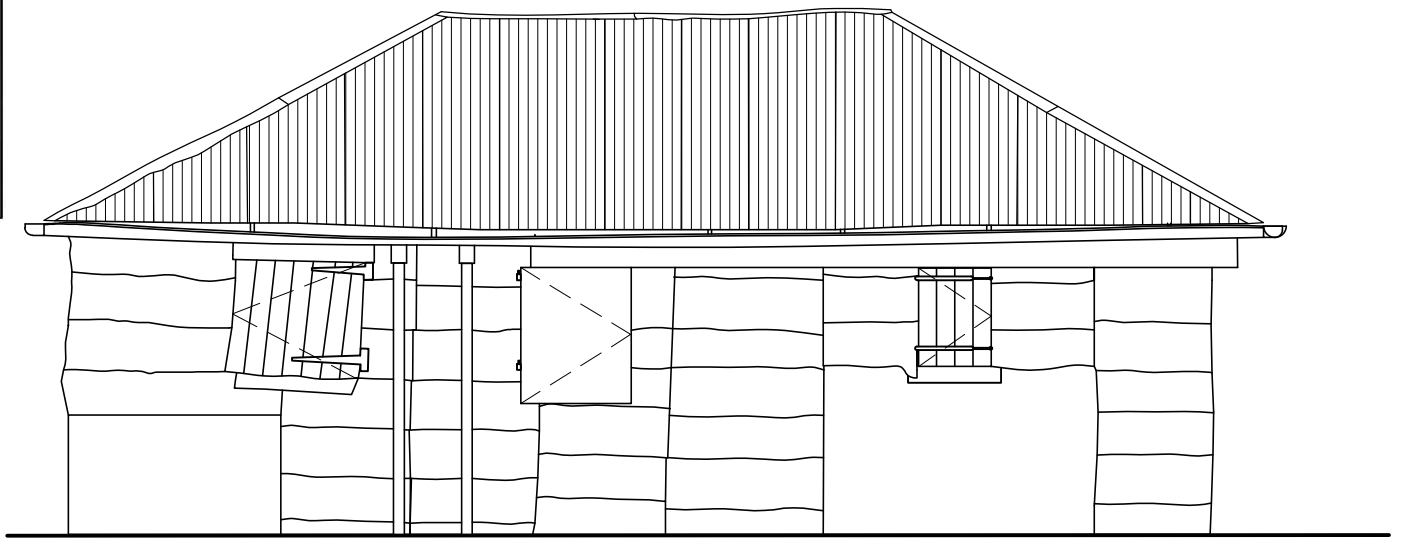
03 SOUTH ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

 **Department of Planning
and Environment**

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 23/907

Approved on: 23 June 2023

Signed: AW Sheet No: 7 of 35



04 WEST ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

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ULTIMO NSW 2007
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Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT
DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
WEATHERBOARD COTTAGE
ELEVATIONS

SCALE
1:50

SHEET SIZE
A3

DESIGNED
MS

DRAWN
JP

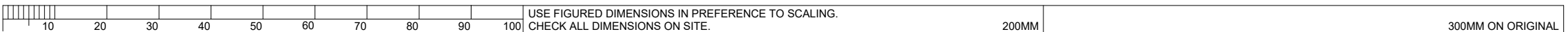
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JOB No.
2110

DRAWING No.
WD301

REVISION
H

A3



USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.



01 HISTORIC IMAGE
-- WEATHERBOARD COTTAGE
NORTHEAST CORNER SHOWING CHIMNEY c.1950
IMAGE COURTESY OF FAMILY.



02 HISTORIC IMAGE
-- FRONT GATE
FORMER LOCATION AT FRONT GARDEN, 1986
IMAGE COURTESY OF PENRITH CITY LIBRARY



05 OVERVIEW
-- CHIMNEY PIECE TO SITTING ROOM, 2019
NORTHERN WALL



03 HISTORIC IMAGE
-- FRONT GATE
FORMER LOCATION AT FRONT GARDEN, c.1900
IMAGE COURTESY OF PENRITH CITY LIBRARY



04 STORED ELEMENTS OF GATE
-- FRONT GATE
CURRENTLY IN GUESTHOUSE, 2022



06 DETAIL IMAGES
-- OPENING JOINTS OF CHIMNEY PIECE, 2019
NORTHERN WALL



07 DETAIL IMAGES
-- SACRIFICIAL RENDER
EXTERNAL AND INTERNAL

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Department of Planning
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Approved on: 23 June 2023

Signed: AW Sheet No: 8 of 35



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14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
REFERENCE IMAGES - GATE,
CHIMNEYS AND RENDER

SCALE
NTS

SHEET SIZE
A3

DESIGNED
-

DRAWN
ES

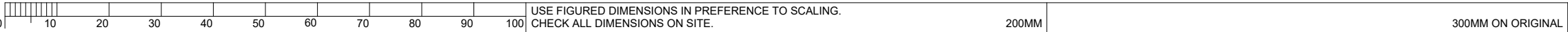
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JOB No.
2110

DRAWING No.
WD302

REVISION
F

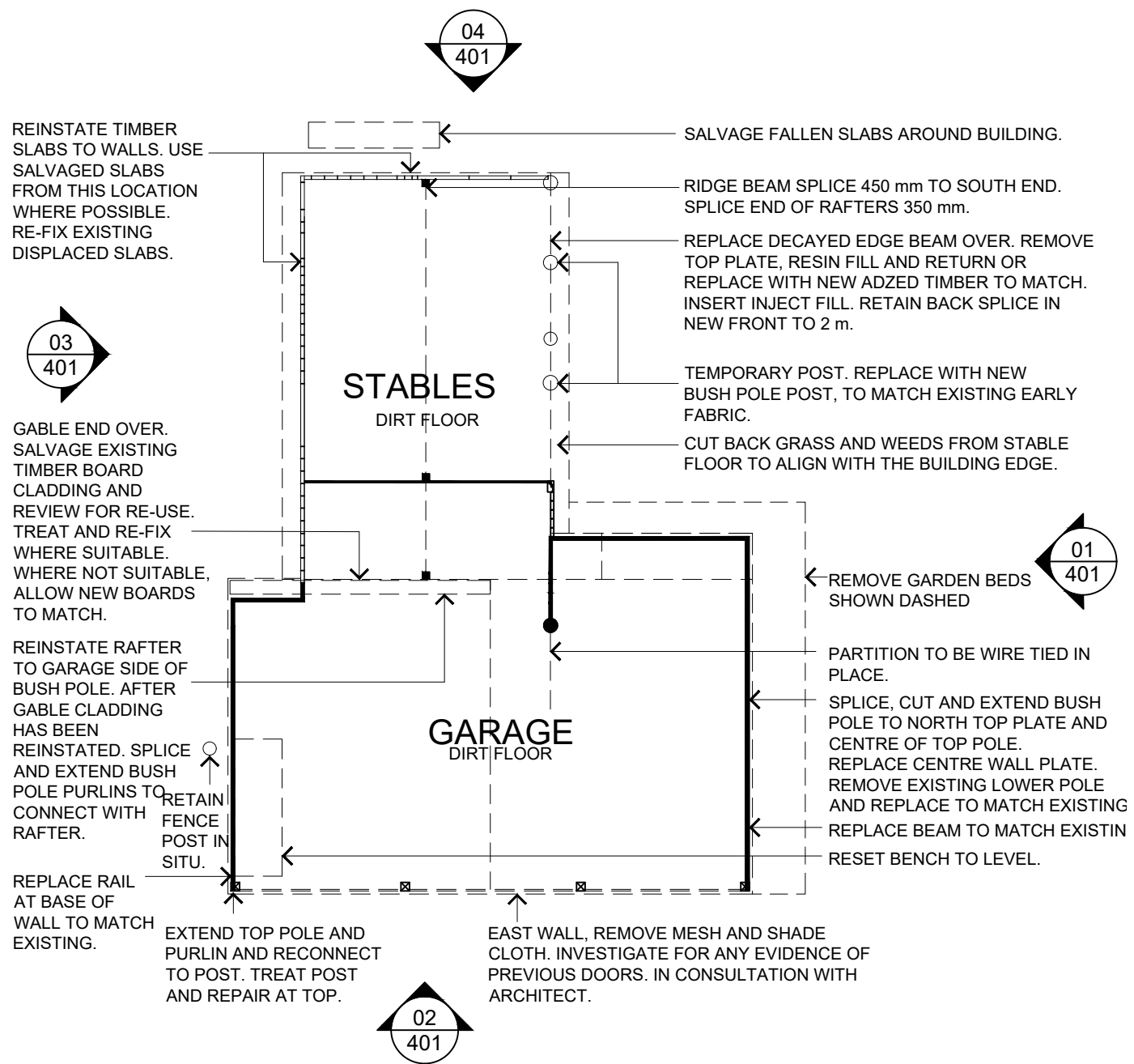
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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

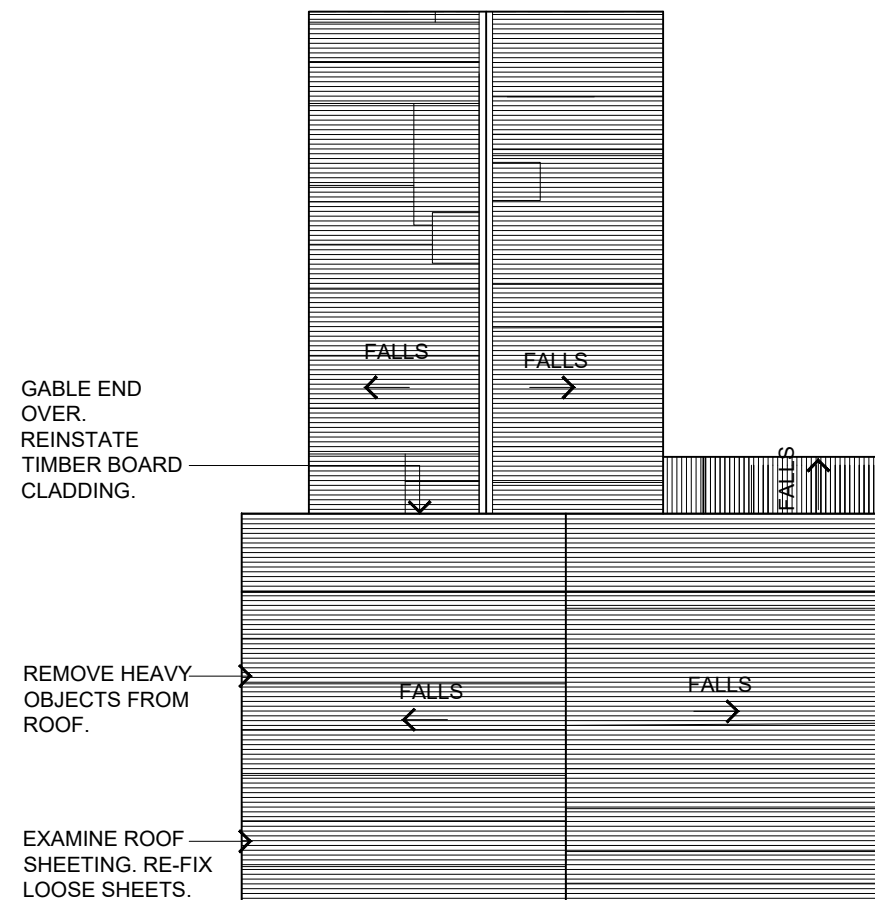
300MM ON ORIGINAL



01 PLAN

-- STABLES AND GARAGE

1:100



02 ROOF PLAN
-- STABLES AND GARAGE
1:100

NOTES:
GENERAL:
SPlice OR MAKE GOOD END GRAIN TO
VERTICAL POSTS. THEN LEAD CAP
EXTERNALLY TO STOP WATER PENETRATION.
REPLACE RAIL AT BASE OF SOUTH WALL.
CLEAN OUT WHITE ANT DIRT.
ADDRESS GROUND LEVELS TO WEST. ADJUST
SOIL LEVELS SO THAT THERE IS A POSITIVE
FALL AWAY FROM THE BUILDING ON ALL
SIDES.

ROOF:
SPlice AND EXTEND GARAGE RIDGE BEAM.
ALLOW 1.2 m LENGTH. PLUG RAFTERS AS
NEED TO RETAIN RAFTERS.
SOLDER HOLES IN ROOF SHEETING.
PATCH 6 LARGER HOLES.
SPlice AND EXTEND 5 PURLINS TO EAST END.
CLEAN RAFTERS AND INSPECT TO DETERMINE
INTEGRITY.
REPLACE DAMAGED ROOF SHEETS WITH
SALVAGED MATERIAL.
TREAT EXISTING ROOF SHEETING WITH
'PENETROL' OR SIMILAR.

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22-36 MOUNTAIN
ULTIMATE
TEL: (01223) 318111
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Jennifer Preston | Non
Registration

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Jennifer Preston | Nominated Architect
Registration Number 6596

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AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

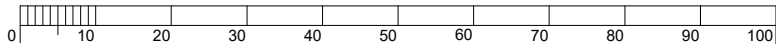
DRAWING TITLE

STABLES AND GARAGE
PLAN

SCALE	SHEET SIZE
1:100	A3

DESIGNED	DRAWN	CHECKED
-	MS	JP

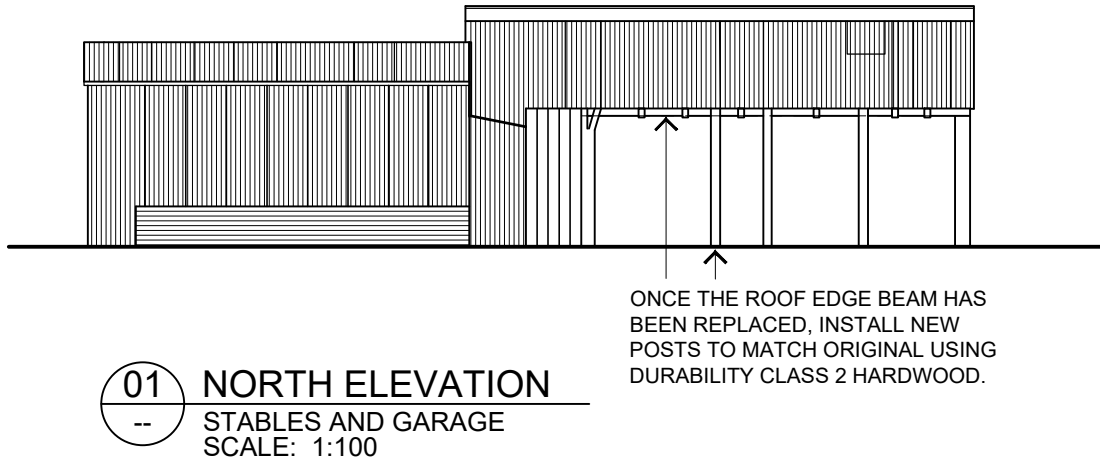
JOB No.	DRAWING No.	REVISION
2110	WD400	H



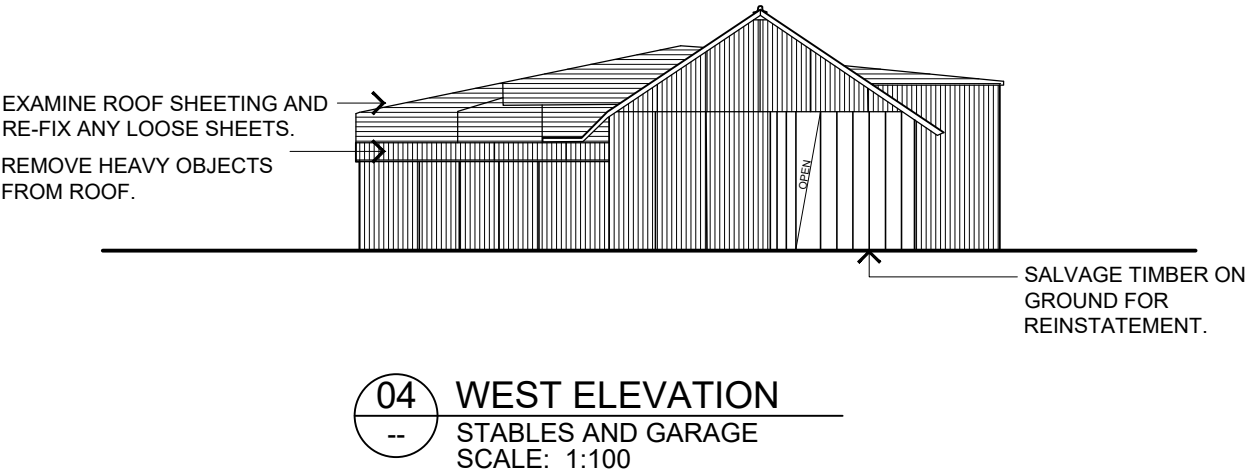
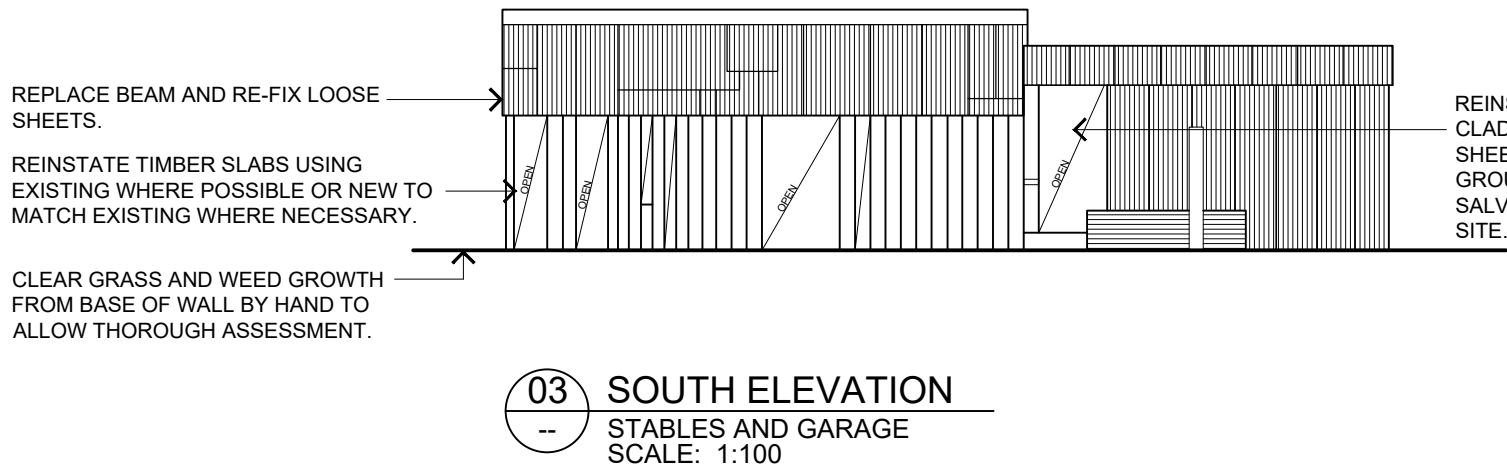
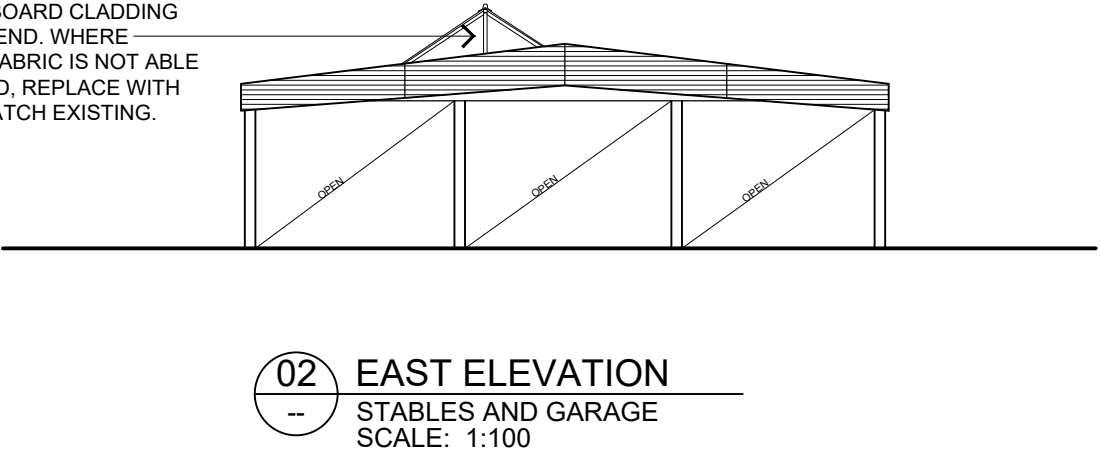
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CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



REINSTATE TIMBER WEATHERBOARD CLADDING TO GABLE END. WHERE EXISTING FABRIC IS NOT ABLE TO BE USED, REPLACE WITH NEW TO MATCH EXISTING.



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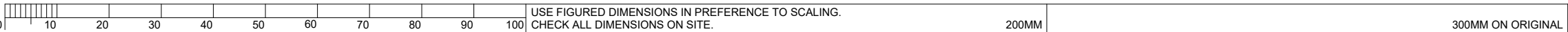
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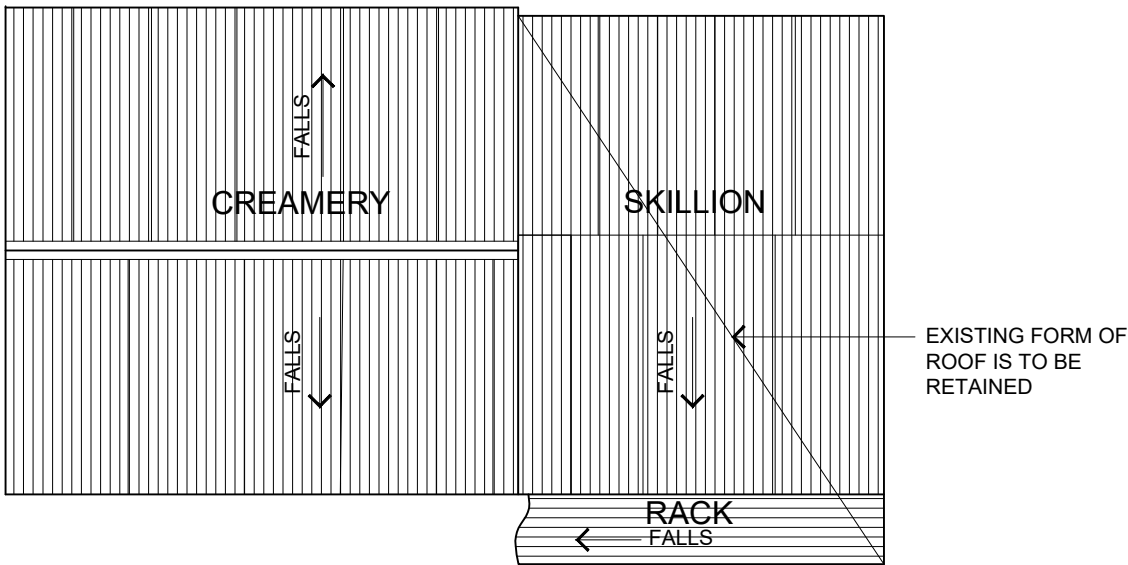
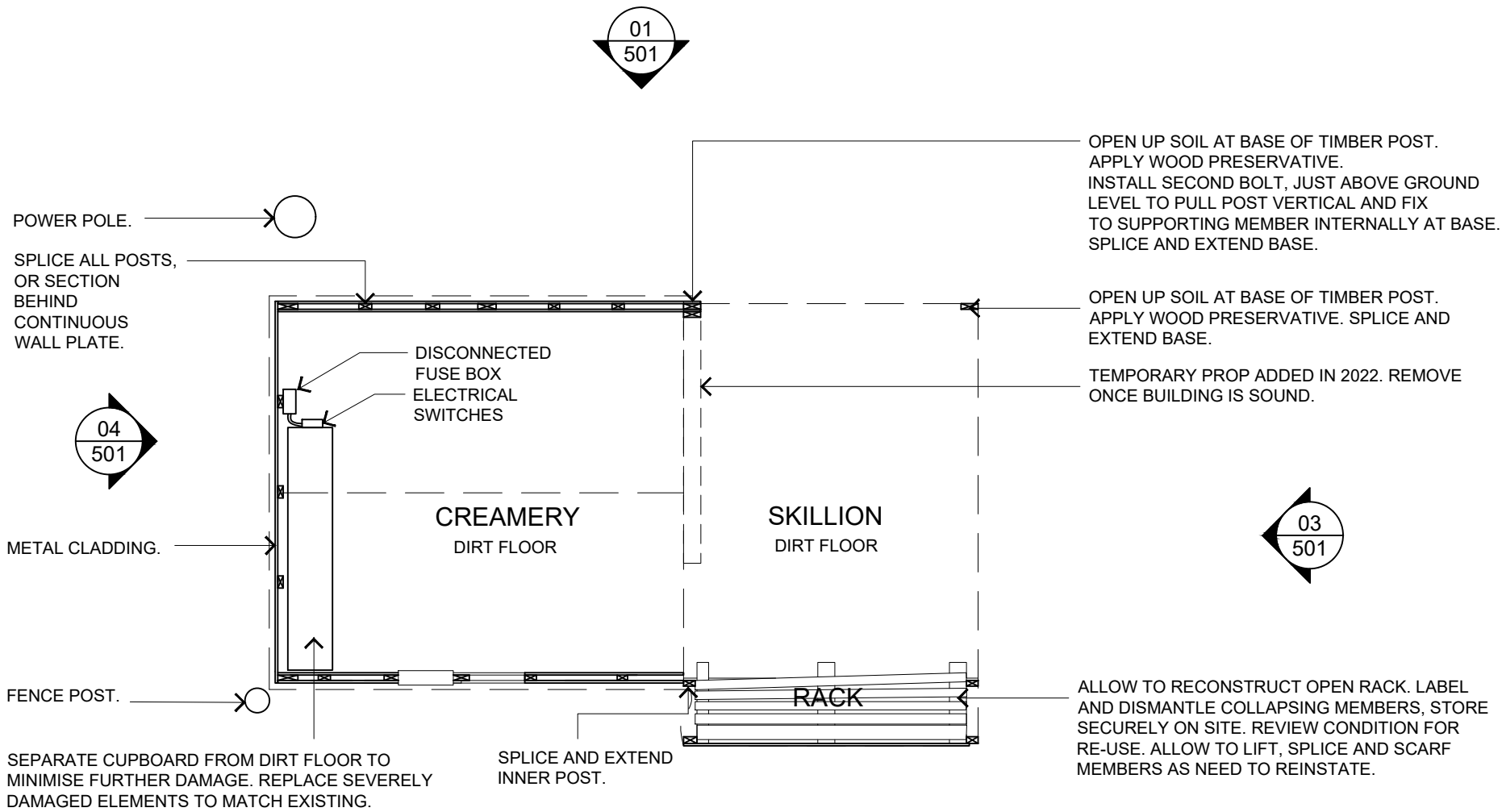
CLIENT	
DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT	
PROJECT TITLE	
HADLEY PARK STAGE 1	
PROJECT ADDRESS	
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749	

DRAWING TITLE		
STABLES AND GARAGE ELEVATIONS		
SCALE	SHEET SIZE	
1:100	A3	
DESIGNED	DRAWN	CHECKED
	MS	JP
JOB No.	DRAWING No.	REVISION
2110	WD401	G

A3



NOTES:
ROOF:
REINSTATE CEILING JOISTS IN EXISTING CUT OUTS TO CREAMERY ROOF.
METAL CLADDING TO SKILLION ROOF AND RACK WAS BENT TO EXISTING FORM. THIS FORM IS TO BE RETAINED WHEN REPLACING STRUCTURAL MEMBERS. ALLOW TEMPORARY PROPPING AS NECESSARY.



01 PLAN
-- CREAMERY
1:50

02 ROOF PLAN
-- CREAMERY
1:50

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM



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PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
CREAMERY
PLAN

SCALE
1:50

SHEET SIZE
A3

DESIGNED
-

DRAWN
MB

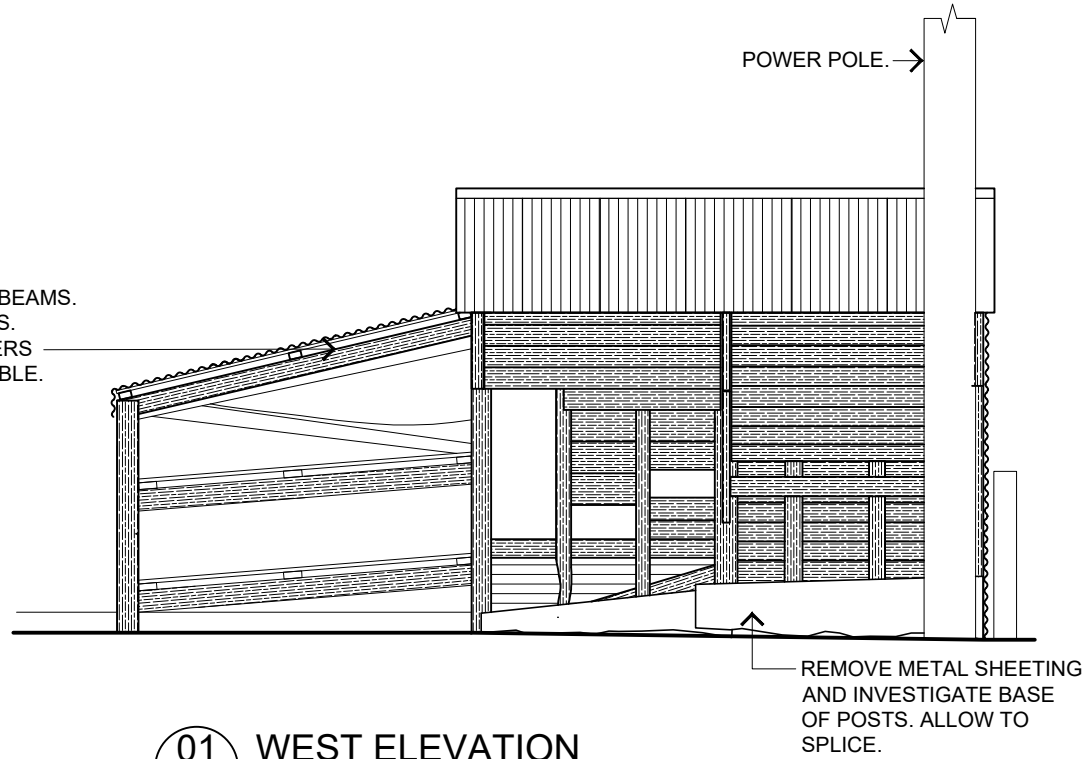
CHECKED
JP

JOB No.
2110

DRAWING No.
WD500

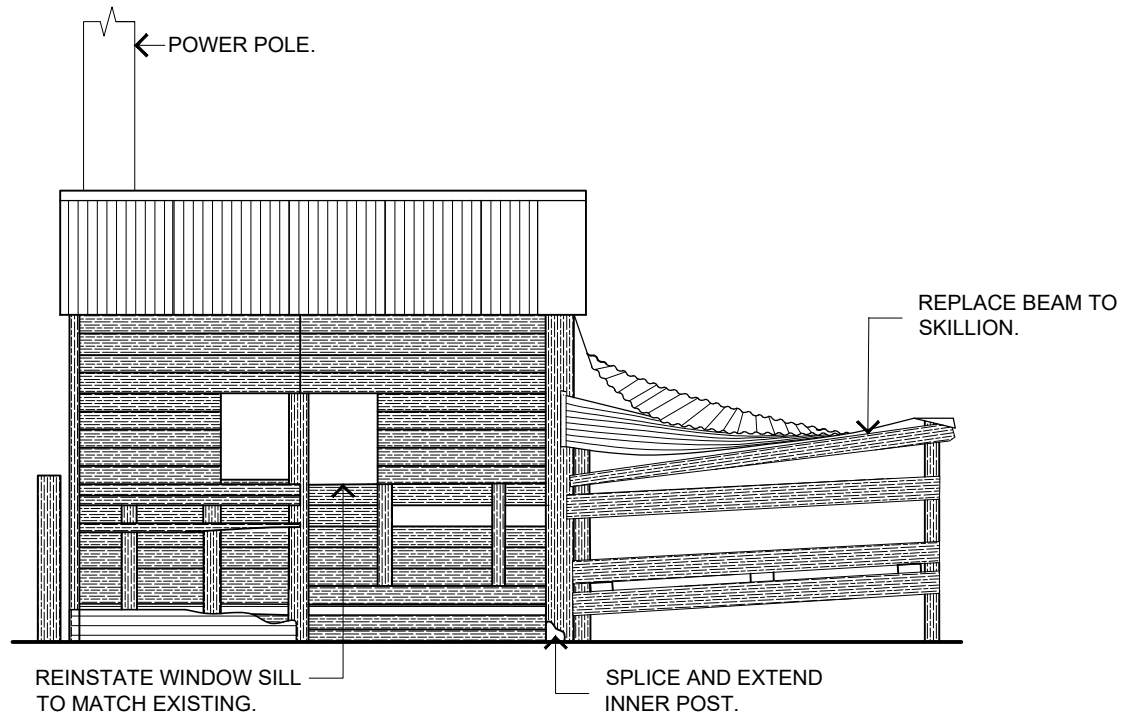
REVISION
G

REPLACE LEAN-TO ROOF BEAMS.
REPLACE EASTERN POSTS.
USE RE-PURPOSED TIMBERS
FROM SITE WHERE POSSIBLE.



01 WEST ELEVATION
-- CREAMERY
SCALE: 1:50

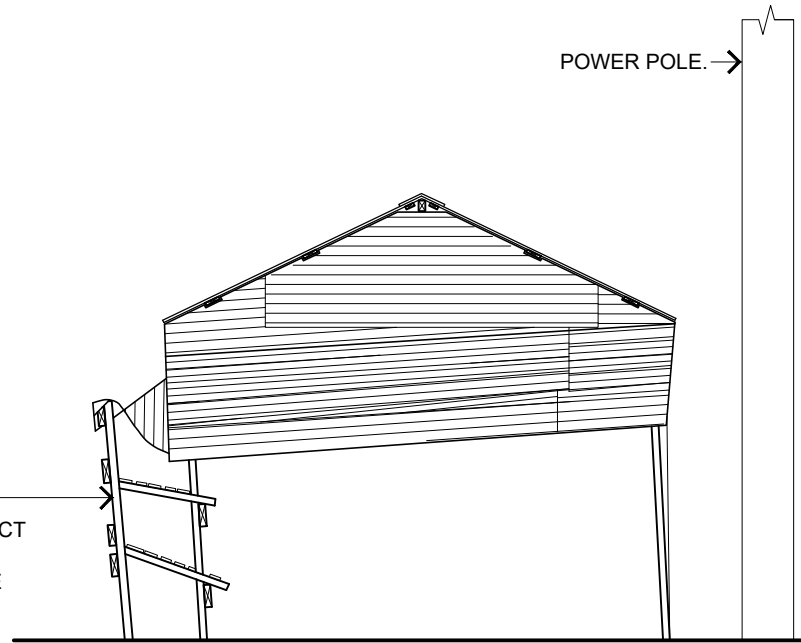
POWER POLE.



02 EAST ELEVATION
-- CREAMERY
SCALE: 1:50

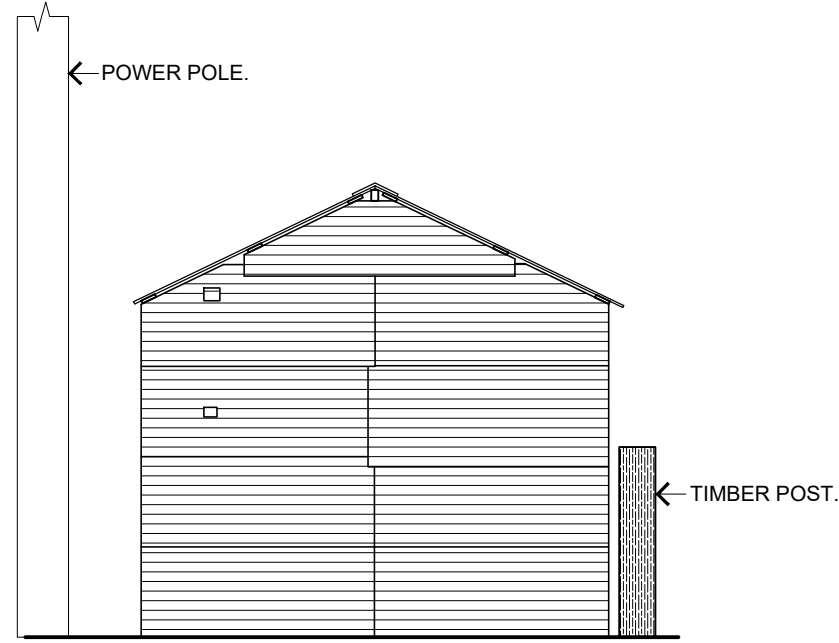
POWER POLE.

LABEL AND DISMANTLE
COLLAPSING MEMBERS AND
STORE SECURELY. RECONSTRUCT
SKILLION AND SHELVES USING
ORIGINAL COMPONENTS WHERE
POSSIBLE.



03 NORTH ELEVATION
-- CREAMERY
SCALE: 1:50

POWER POLE.



04 SOUTH ELEVATION
-- CREAMERY
SCALE: 1:50



Department of Planning
and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 23/907

Approved on: 23 June 2023

Signed: AW Sheet No: 12 of 35

NOTES:
GENERAL:
ALLOW POLE DIFFUSERS TO ALL POLES IN GROUND, NEW AND EXISTING.
APPLY WOOD PRESERVATIVE TO ALL EXPOSED ENDS OF TIMBER.
REPLACE MISSING AND SEVERELY DAMAGED WEATHERBOARDS TO MATCH EXISTING.
REPLACE DECAYED POSTS ON EAST AND WEST FACING WALLS.

ROOF:
REPLACE BEAMS TO SKILLION.
REPLACE LEAN TO ROOF BEAMS.
TREAT ROOF WITH 'PENETROL'.
REINSTATE CEILING JOISTS IN EXISTING CUT OUTS TO CREAMERY ROOF.
METAL CLADDING TO SKILLION ROOF AND RACK WAS BENT TO EXISTING FORM. THIS FORM IS TO BE RETAINED WHEN REPLACING STRUCTURAL MEMBERS. ALLOW TEMPORARY PROPPING AS NECESSARY.

GENERAL NOTES

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E	13/10/22	SECTION 60 APPLICATION	MS
F	08/12/22	CONSULTANT INFORMATION	MS
G	14/12/22	DEVELOPMENT APPLICATION	MS



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

CREAMERY
ELEVATIONS

SCALE SHEET SIZE

1:50 A3

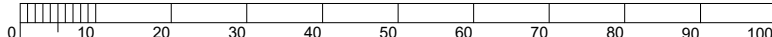
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MS JP

JOB No. DRAWING No. REVISION

2110 WD501 G

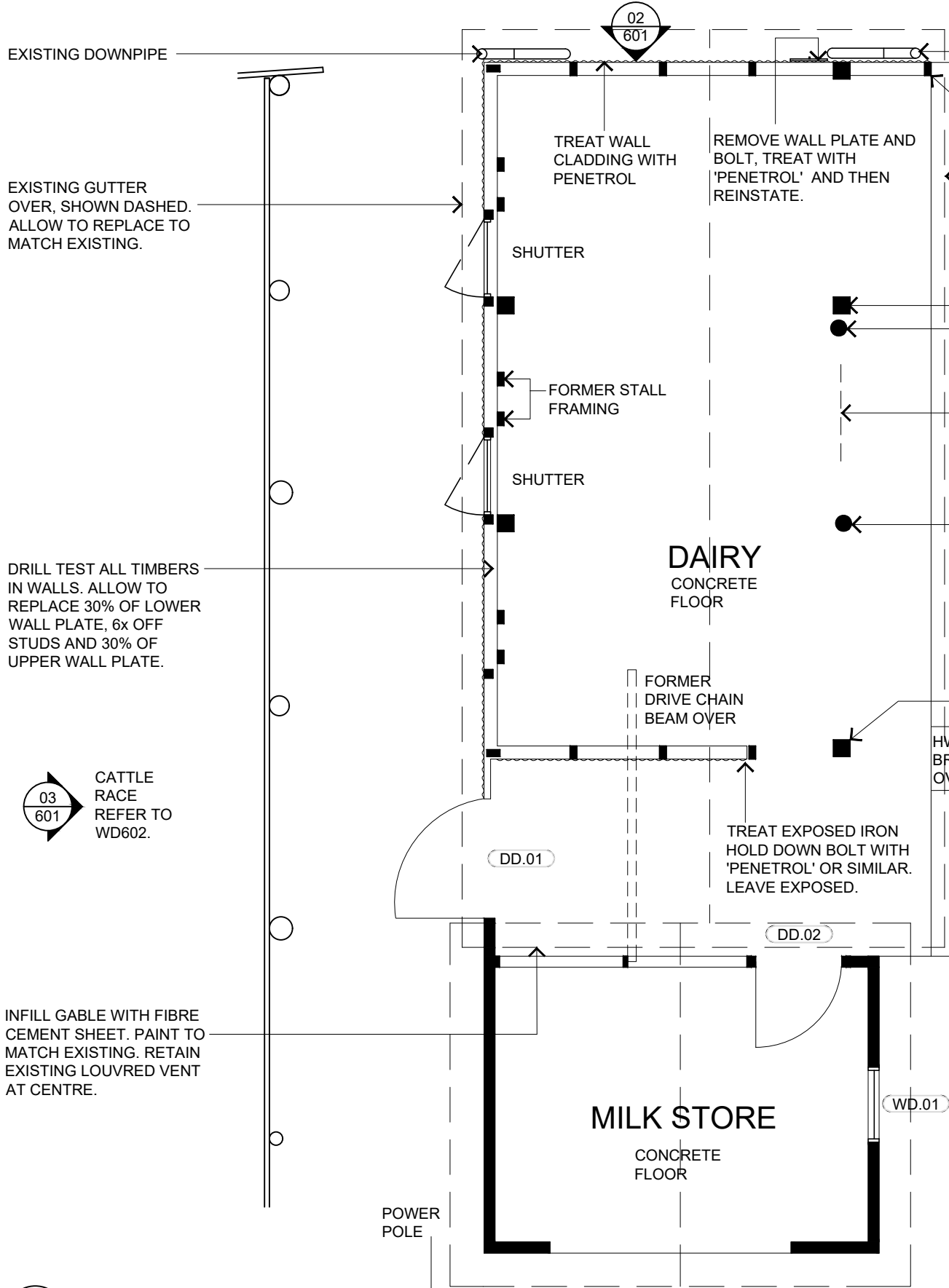
A3



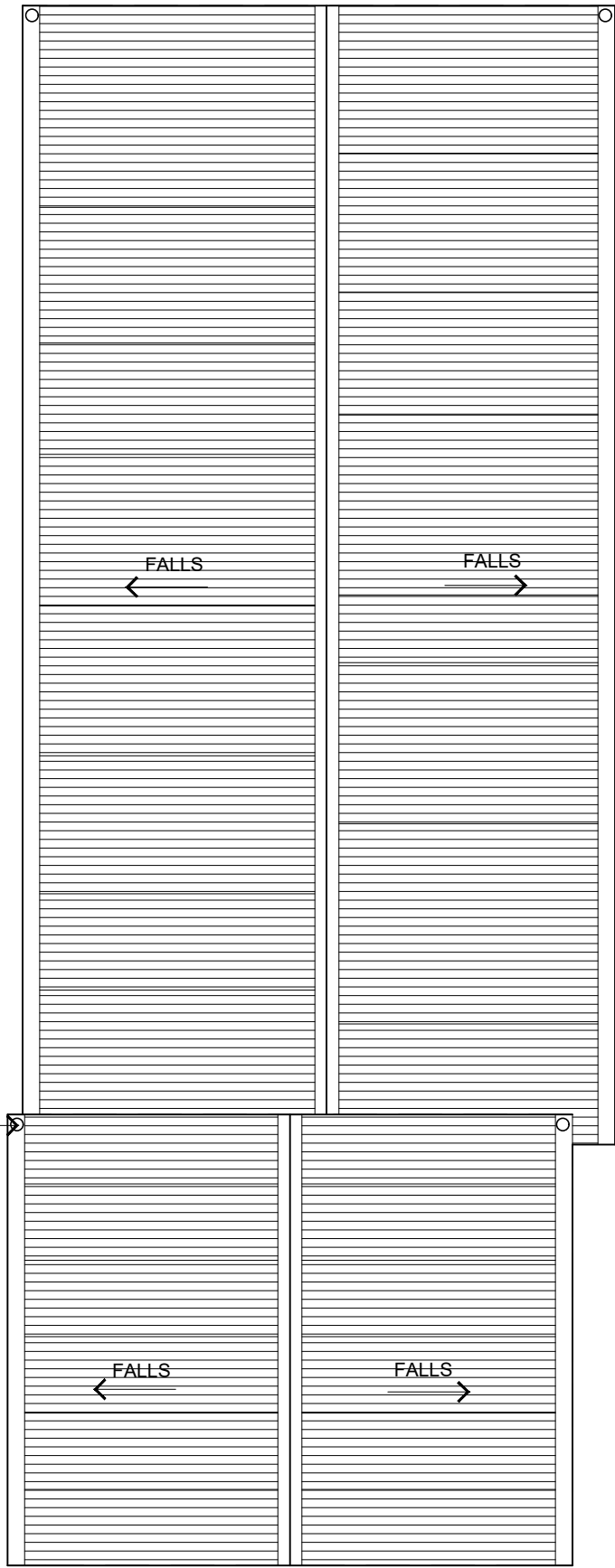
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



- EXISTING DOWNPIPE.
REPLACE GUTTER AND
DIRECT INTO DISH DRAIN.
- SPLICE EXTEND EXISTING
POST
- EXISTING GUTTER OVER.
- SPLICE AND EXTEND BASE
OF SQUARE COLUMN THEN
REMOVE ROUND
TEMPORARY POST.
- PROVIDE NEW CLEAT TO
LAP JOINT IN BEAM OVER.
- REPLACE TEMPORARY
ROUND POST WITH SQUARE
POST TO MATCH EXISTING.
- CLEAN DISH DRAIN AND
REMOVE SOIL BACK TO
EDGE OF THE CONCRETE.
RE-GRADE SOIL LEVELS
BEYOND TO ENSURE
WATER RUNS AWAY.
- SPLICE AND EXTEND BASE
OF POST.
- TREAT HWU BRACKET WITH
'PENETROL' TO RUSTED
AREAS.
- ADD NECK TO DOWNPIPE.
INSTALL NEW QUAD
GUTTER.



- NOTES:**
- GENERAL:**
REMOVE ALL VEGETATION FROM
BUILDING INCLUDING FROM ROOF.
ADJUST SOIL LEVELS SO THAT
THERE IS A POSITIVE FALL AWAY
FROM THE BUILDING ON ALL
ELEVATIONS.
ALONG THE WALLS THE
CONCRETE IS DELAMINATING AT
THE HOLD DOWN BOLTS THAT
SECURE THE TIMBER FRAME ON
TOP OF THE CONCRETE
RENDERED BRICK WALLS. TREAT
HOLD DOWN BOLTS WITH
'PENETROL'.
- ROOF:**
GENERALLY:
EXAMINE ALL ROOF SHEETS FOR
DAMAGE. UNDO SHEETS AND
TREAT RUST WITH 'PENETROL' OR
SIMILAR, INCLUDING FIXING
PENETRATIONS, THEN RE-FIX
SHEETS.
- MILK STORE:**
REPAIR ROOF TIMBERS WHERE
DAMAGED AND REPLACE WHERE
MISSING TO MATCH EXISTING.
- DAIRY:**
CHECK ROOF FOR DAMAGE.
TREAT RUSTED AREAS WITH
'PENETROL'.
REPAIR OR REPLACE DAMAGED
SECTION OF RIDGE CAPPING.
REPLACE GUTTERS AND
RECONNECT DOWNPIPES.
- DOORS:**
DD.01:
REPAIR LEDGED AND BRACED
DOOR AND FRAME.
DD.02:
ADJUST DOOR AT BASE.

01 PLAN
DAIRY AND MILK STORAGE SHED
1:50

02 ROOF PLAN
DAIRY AND MILK STORAGE SHED
1:50

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 **Department of Planning and Environment**

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 23/907

Approved on: 23 June 2023

Signed: AW Sheet No: 13 of 35

 **JPA&D**
ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09
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ULTIMO NSW 2007
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Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT
DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
DAIRY AND MILK STORAGE SHED
PLANS

SCALE
1:50

SHEET SIZE
A3

DESIGNED
-

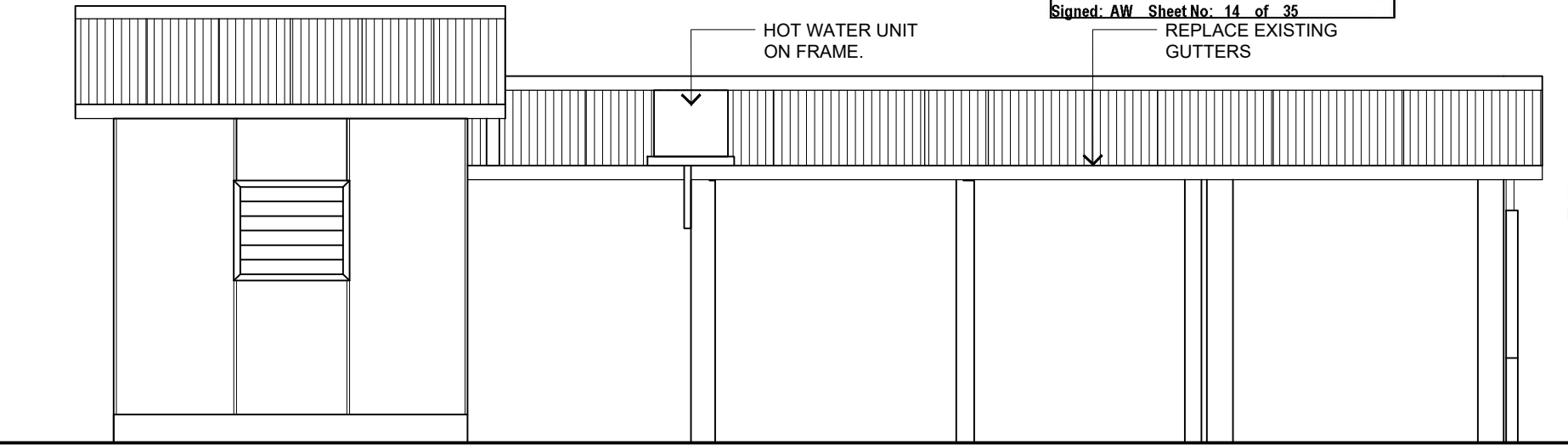
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CHECKED
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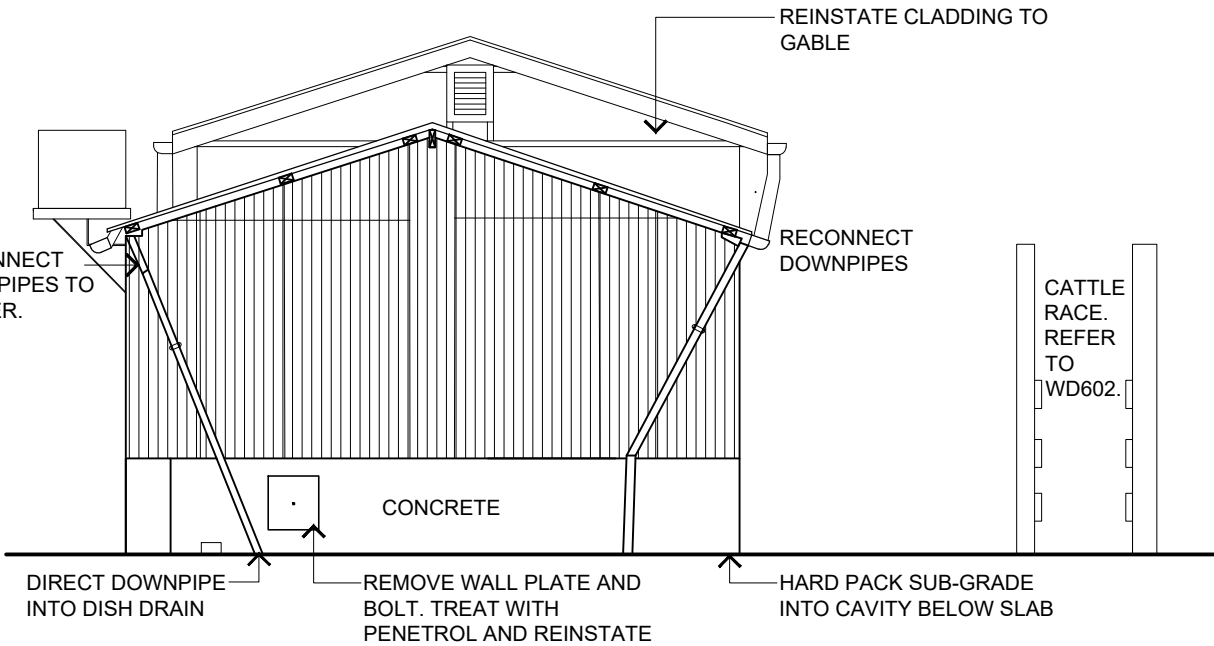
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2110

DRAWING No.
WD600

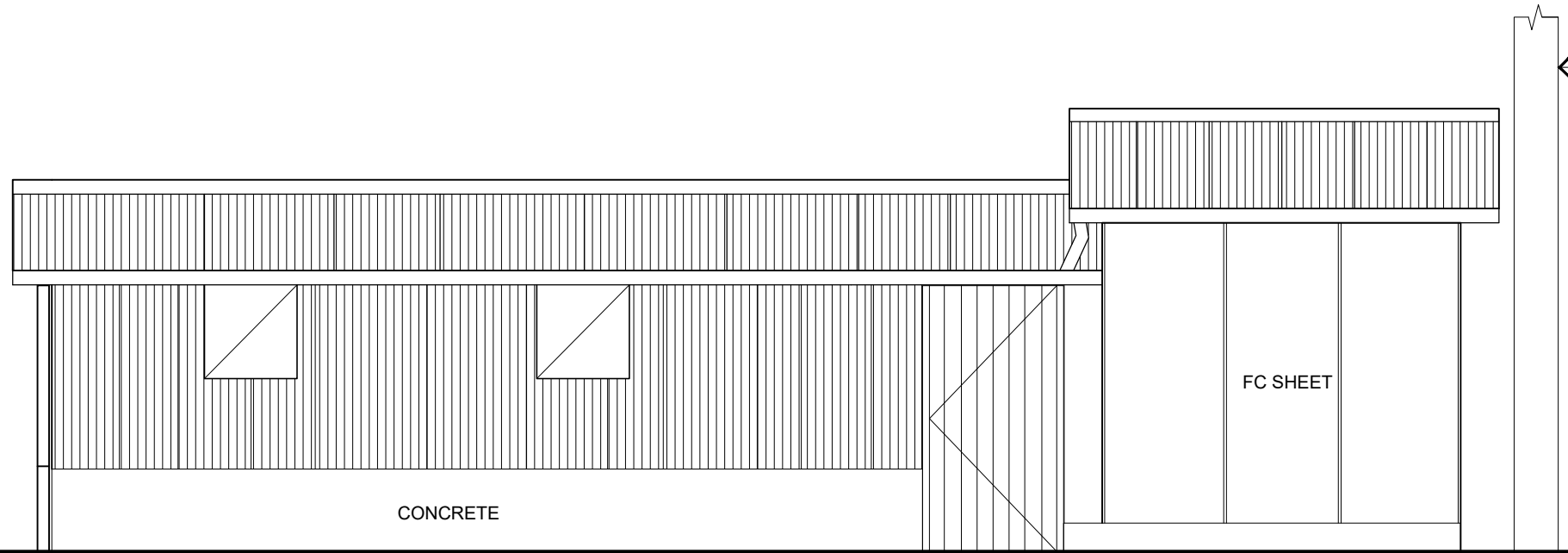
REVISION
G



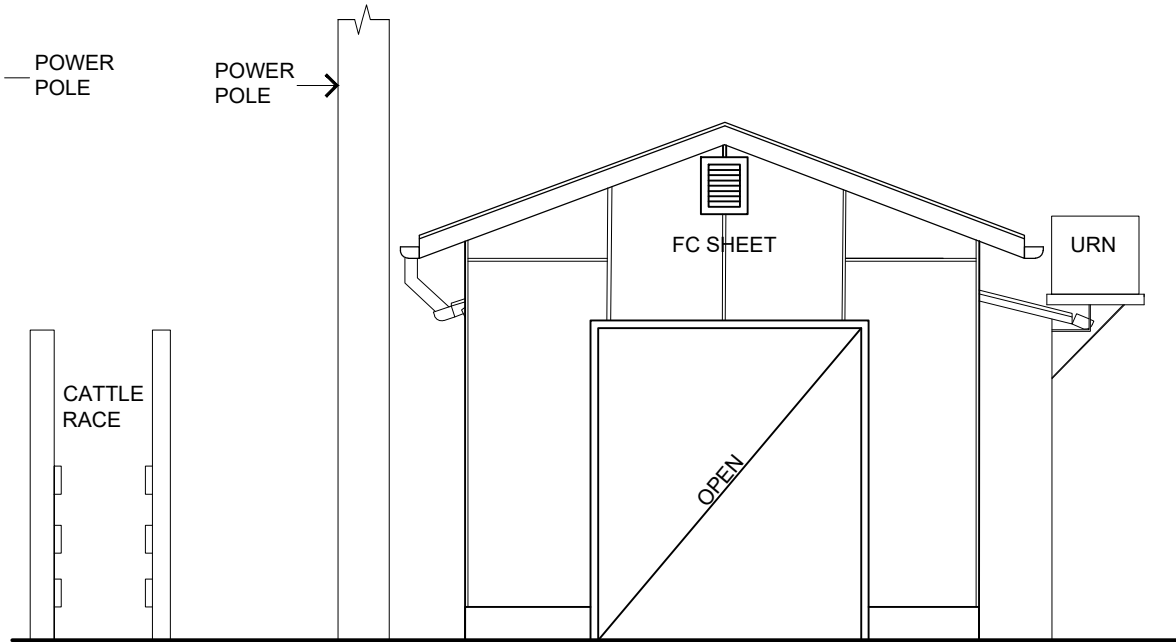
01 NORTH ELEVATION
DAIRY AND MILK STORAGE SHED
SCALE: 1:50



02 WEST ELEVATION
DAIRY AND MILK STORAGE SHED
SCALE: 1:50



03 SOUTH ELEVATION
DAIRY AND MILK STORAGE SHED
SCALE: 1:50



04 EAST ELEVATION
DAIRY AND MILK STORAGE SHED
SCALE: 1:50

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
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Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

DAIRY AND MILK STORAE SHED
ELEVATIONS

SCALE

1:50

DESIGNED

MS

JOB No.

2110

SHEET SIZE

A3

DRAWN

JP

DRAWING No.

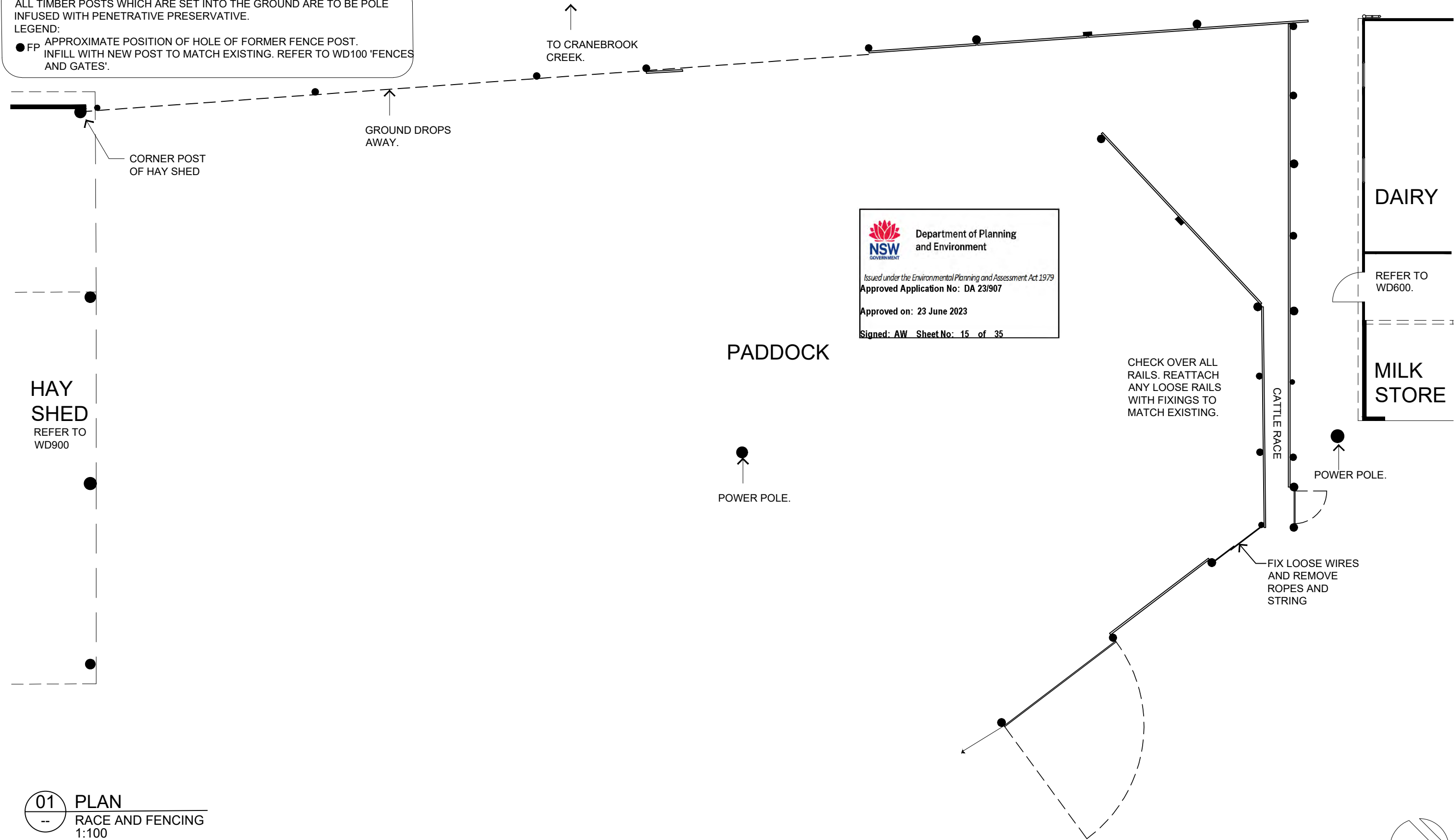
WD601

REVISION

G

A3

NOTES:
ALL TIMBER POSTS WHICH ARE SET INTO THE GROUND ARE TO BE POLE
INFUSED WITH PENETRATIVE PRESERVATIVE.
LEGEND:
● FP APPROXIMATE POSITION OF HOLE OF FORMER FENCE POST.
INFILL WITH NEW POST TO MATCH EXISTING. REFER TO WD100 'FENCES
AND GATES'.



01 PLAN
--
RACE AND FENCING
1:100

● FP

● FP

● FP

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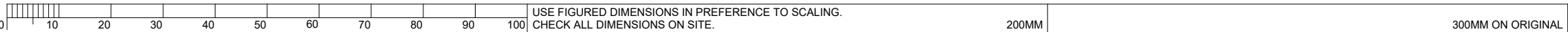
REVISION			
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SUITE C2.09
22-36 MOUNTAIN STREET
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TEL: (02) 9211 2212
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Jennifer Preston | Nominated Architect
Registration Number 6596

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DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT
PROJECT TITLE
HADLEY PARK STAGE 1
PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
RACE AND FENCING
PLAN
SCALE
1:100
SHEET SIZE
A3
DESIGNED
-
DRAWN
AK
CHECKED
JP
JOB No.
2110
DRAWING No.
WD602
REVISION
F

A3



USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

NOTES:
GENERAL:
SALVAGE EXISTING ROOF AND WALL SHEETING.
SPlice AND EXTEND ALL POST BASES.
ALLOW TO TREAT TIMBER TOP RAILS
THROUGHOUT.
RESET ALL ROOF LEVELS.
CLEAR DEBRIS AWAY FROM WEST, TAKING
CARE NOT TO DISTURB EXISTING FENCE AND
GATE REMNANTS AND PEPPERCORN TREE.
REPLACE MISSING POSTS WITH SALVAGED
WHERE POSSIBLE OR NEW TO MATCH EXISTING.
REMOVE TREE STUMP NEAR SOUTHWEST
CORNER.
TREAT ALL IRON ATTACHMENTS WITH
'PENETROL'.

DAIRY HEAD STALLS:
REMOVE ROOF SHEETING AND SET SHEETS
ASIDE FOR REINSTATEMENT.
REMOVE AND REPLACE ALL BATTENS USING
SALVAGED MATERIAL OR NEW TO MATCH
EXISTING.
REINSTATE ROOF SHEETS, ALLOWING FOR 30%
REPLACEMENT TO MATCH EXISTING. MAKE
ROOF WATERPROOF.
ASSESS CONDITION OF TIMBERS IN COW BAILS
AND FEED TROUGH. REPAIR USING SALVAGED
MATERIAL OR NEW TO MATCH EXISTING. WHERE
NECESSARY CONSULT WITH ARCHITECT
BEFORE PROCEEDING WITH WORKS.

FEED STORAGE SHED:
RECORD MATERIAL ON GROUND SURFACE.
RELOCATE MOVEABLE ITEMS IN CONSULTATION
WITH ARCHITECT. RE-GRADE GROUND TO FALL
TOWARDS THE EAST.
ALLOW TO REPLACE 40% OF ALL BATTENS AND
REPAIR 60%. SPLICE RIDGE BEAM AT END AND
REPAIR AS NECESSARY. REPLACE 3 RAFTERS.
CHECK OVER REMAINDER.

STORAGE SHED 1:
ALLOW TO REPLACE ALL BATTENS AND 4
RAFTERS.

STORAGE SHED 2:
ALLOW TO REPLACE 20% OF BATTENS AND 3
RAFTERS.



Department of Planning
and Environment

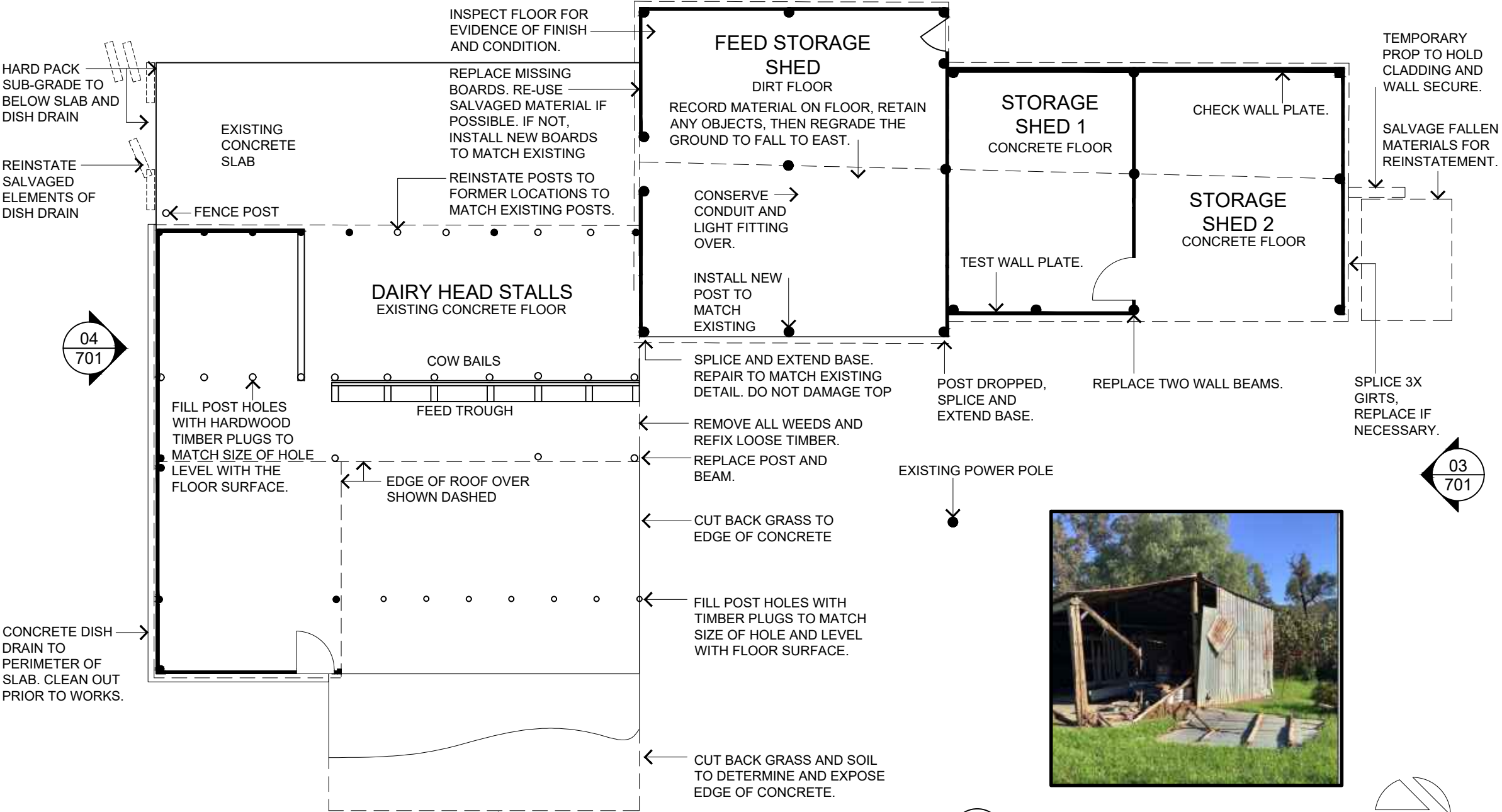
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 23/907

Approved on: 23 June 2023

Signed: AW Sheet No: 16 of 35

EXISTING FENCE AND GATE
REMNANTS AND
PEPPERCORN TREE.

REMOVE DEBRIS
FROM THIS AREA



01 PLAN
--
FEED STORE AND COW BAILS
1:100

01 IMAGE OF CONDITION
--
FEED STORE AND COW BAILS (06/2022)

SEE WD702 FOR ROOF PLAN.

GENERAL NOTES

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CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



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Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

FEED STORE AND COW BAILS
PLAN

SCALE SHEET SIZE

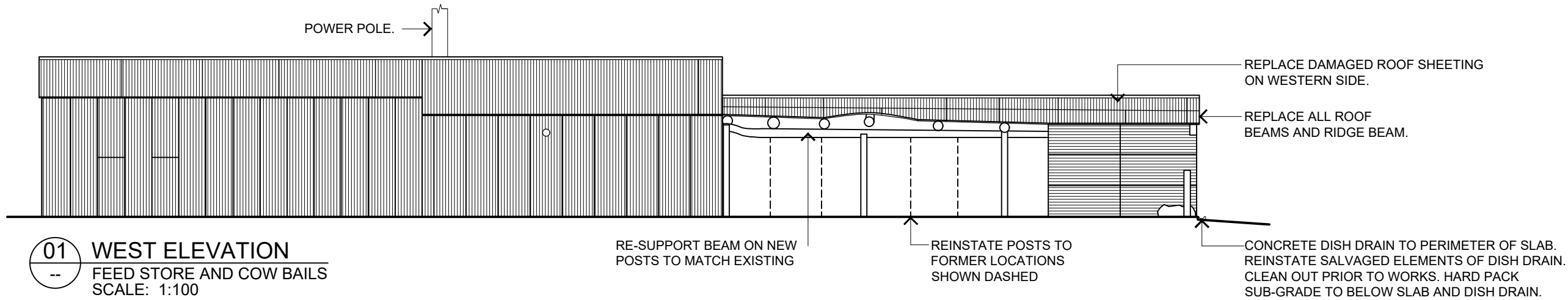
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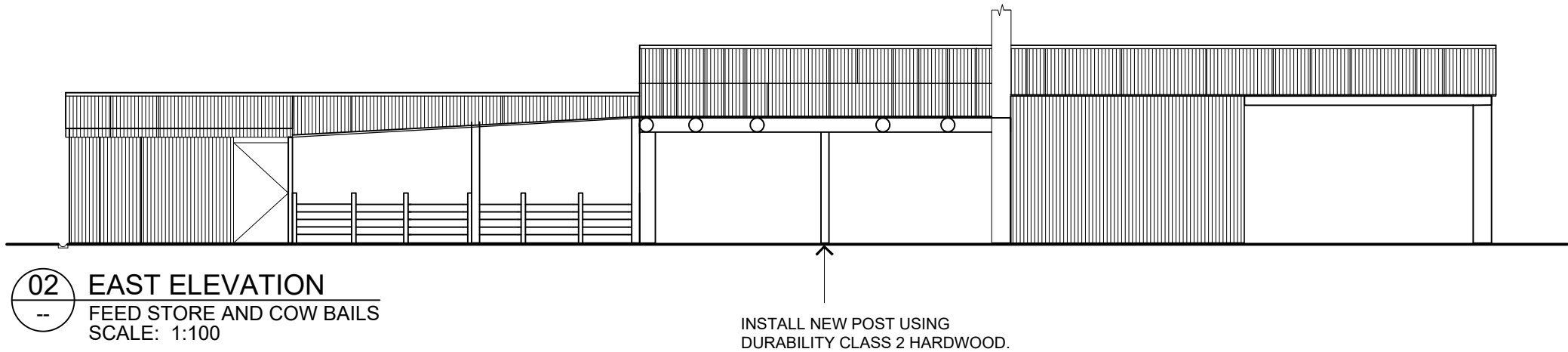
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JOB No. DRAWING No. REVISION

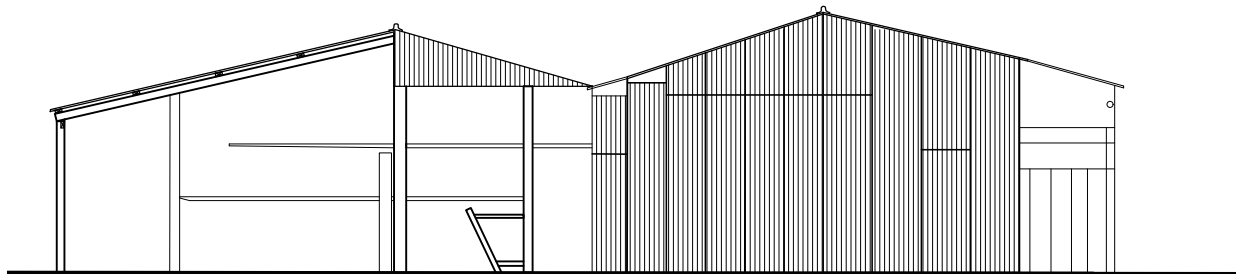
2110 WD700 G



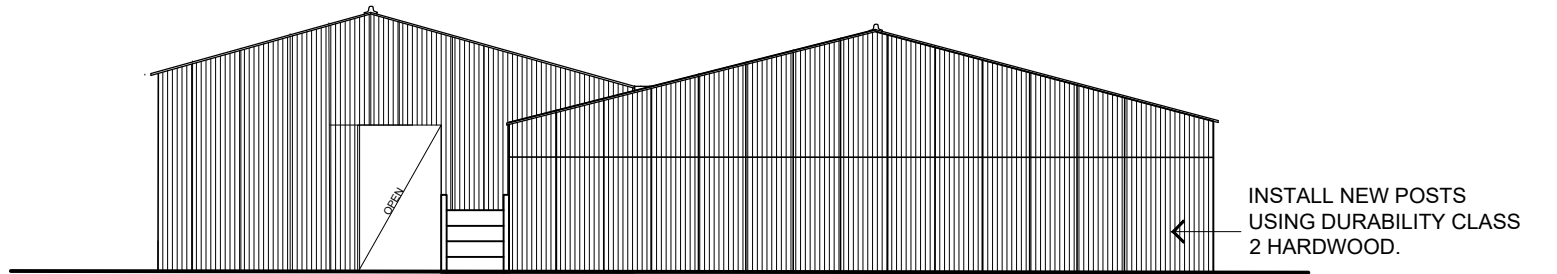
01 WEST ELEVATION
--
FEED STORE AND COW BAILS
SCALE: 1:100



02 EAST ELEVATION
--
FEED STORE AND COW BAILS
SCALE: 1:100



03 NORTH ELEVATION
--
FEED STORE AND COW BAILS
SCALE: 1:100



04 SOUTH ELEVATION
--
FEED STORE AND COW BAILS
SCALE: 1:100



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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
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Jennifer Preston | Nominated Architect
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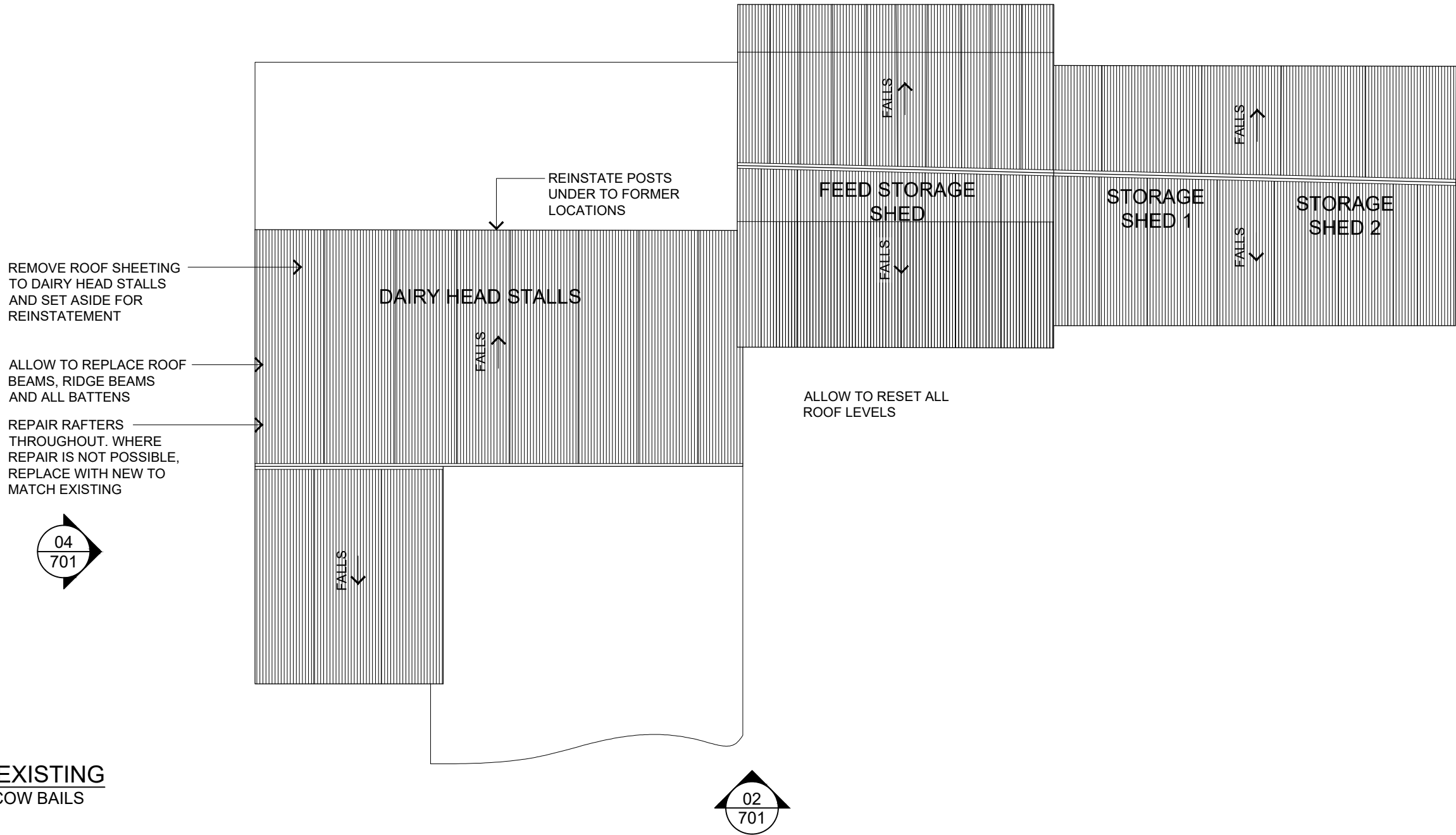
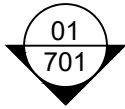
CLIENT
DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
FEED STORE AND COW BAILS
ELEVATIONS

SCALE		SHEET SIZE	
1:100		A3	
DESIGNED	DRAWN	CHECKED	
MS	JP		
JOB No.	DRAWING No.	REVISION	
2110	WD701	G	



01

ROOF PLAN - EXISTING

--

FEED STORE AND COW BAILS

1:100

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REVISION

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B	02/06/22	50% ISSUE	MS
C	13/07/22	ISSUE FOR REVIEW	ES
D	24/08/22	CONSULTANT COORDINATION	MS
E	13/10/22	SECTION 60 APPLICATION	MS
F	08/12/22	CONSULTANT INFORMATION	MS
G	14/12/22	DEVELOPMENT APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

FEED STORE AND COW BAILS
ROOF PLAN

SCALE SHEET SIZE

1:100 A3

DESIGNED DRAWN CHECKED

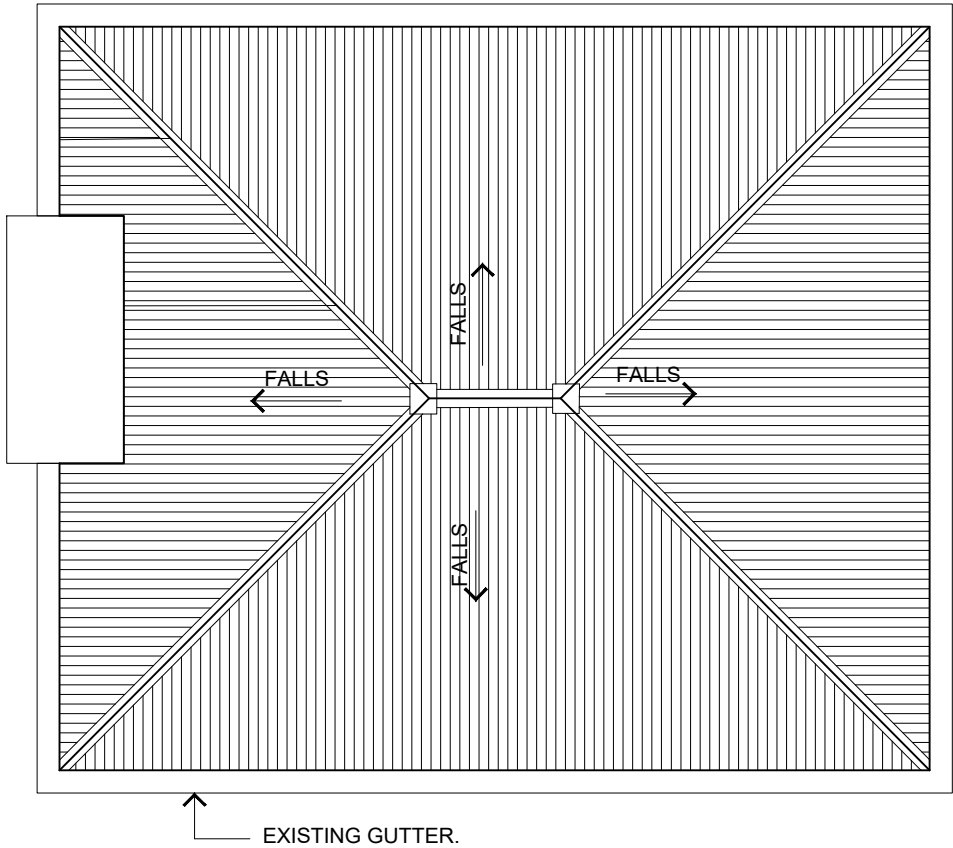
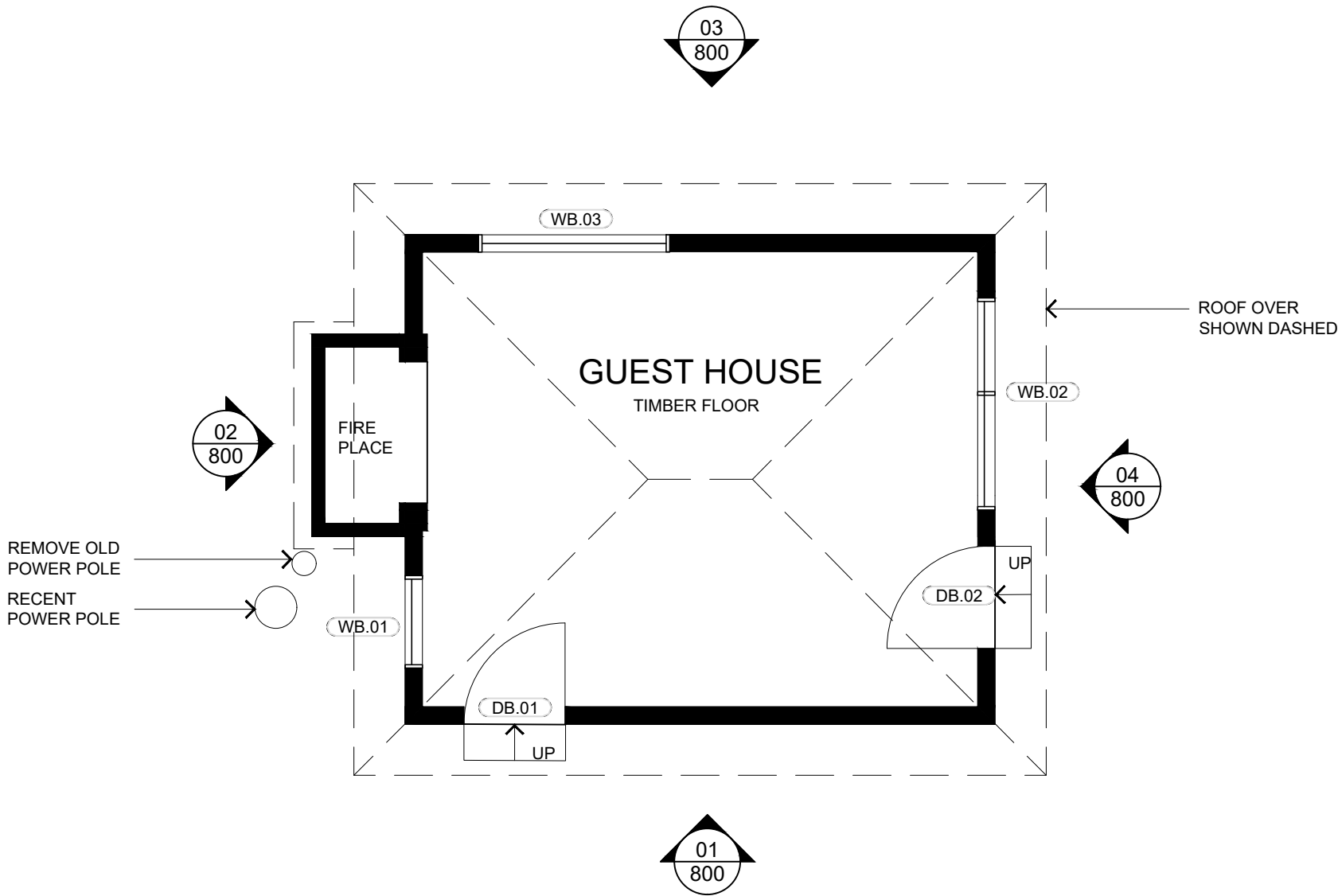
- MB JP

JOB No. DRAWING No. REVISION

2110 WD702 G

NOTES:

THE GUEST HOUSE BUILDING IS TO BE
DEMOLISHED. ALLOW TO DISCONNECT
AND CAP EXISTING SERVICES. RECORD
LOCATIONS FOR POSSIBLE FUTURE USE.



01 PLAN - EXISTING
-- GUEST HOUSE
1:50

02 ROOF PLAN - EXISTING
-- GUEST HOUSE
1:50

GENERAL NOTES

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200MM

300MM ON ORIGINAL



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PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
GUEST HOUSE
PLAN - EXISTING

SCALE
1:50

SHEET SIZE
A3

DESIGNED
-

DRAWN
MB

CHECKED
JP

JOB No.
2110

DRAWING No.
WD800

REVISION
H



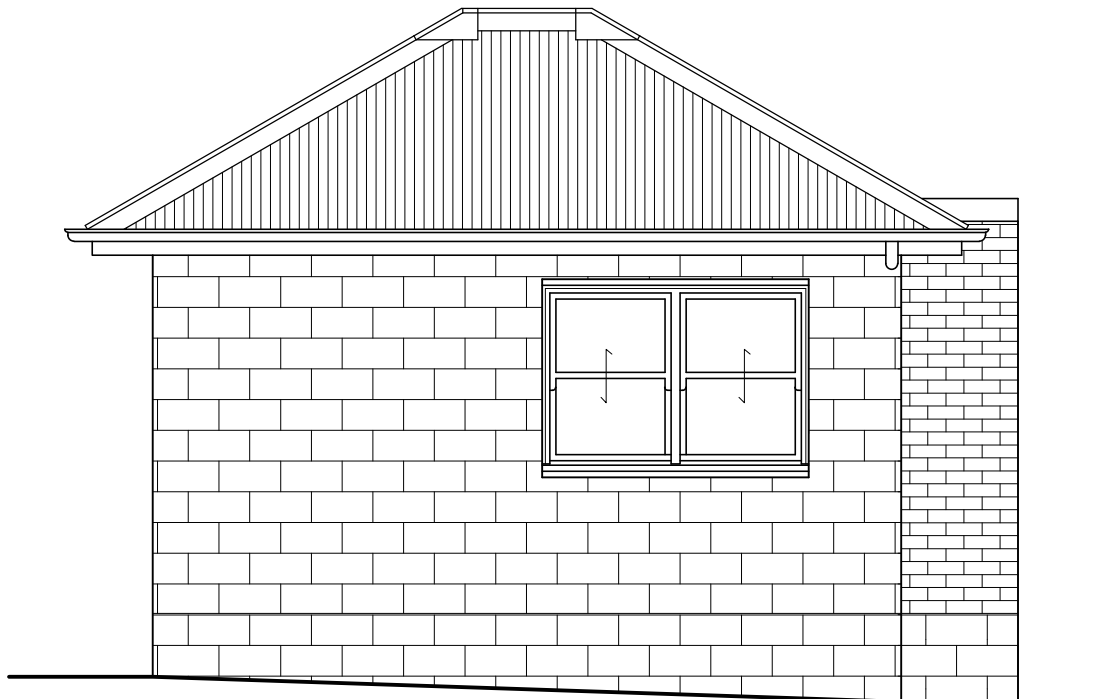
01 EAST ELEVATION
-- GUESTHOUSE
SCALE: 1:50



02 SOUTH ELEVATION
-- GUESTHOUSE
SCALE: 1:50

NOTES:

THE GUEST HOUSE BUILDING IS TO BE DEMOLISHED. ALLOW TO DISCONNECT AND CAP EXISTING SERVICES. RECORD LOCATIONS FOR POSSIBLE FUTURE USE.



03 WEST ELEVATION
-- GUESTHOUSE
SCALE: 1:50



04 NORTH ELEVATION
-- GUESTHOUSE
SCALE: 1:50



Department of Planning
and Environment

Issued under the Environmental Planning and Assessment Act 1979

Approved Application No: DA 23/907

Approved on: 23 June 2023

Signed: AW Sheet No: 20 of 35

GENERAL NOTES

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DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

GUEST HOUSE
ELEVATIONS - EXISTING

SCALE SHEET SIZE

1:50 A3

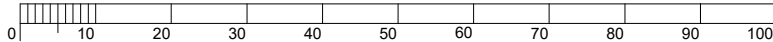
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MS JP

JOB No. DRAWING No. REVISION

2110 WD801 H

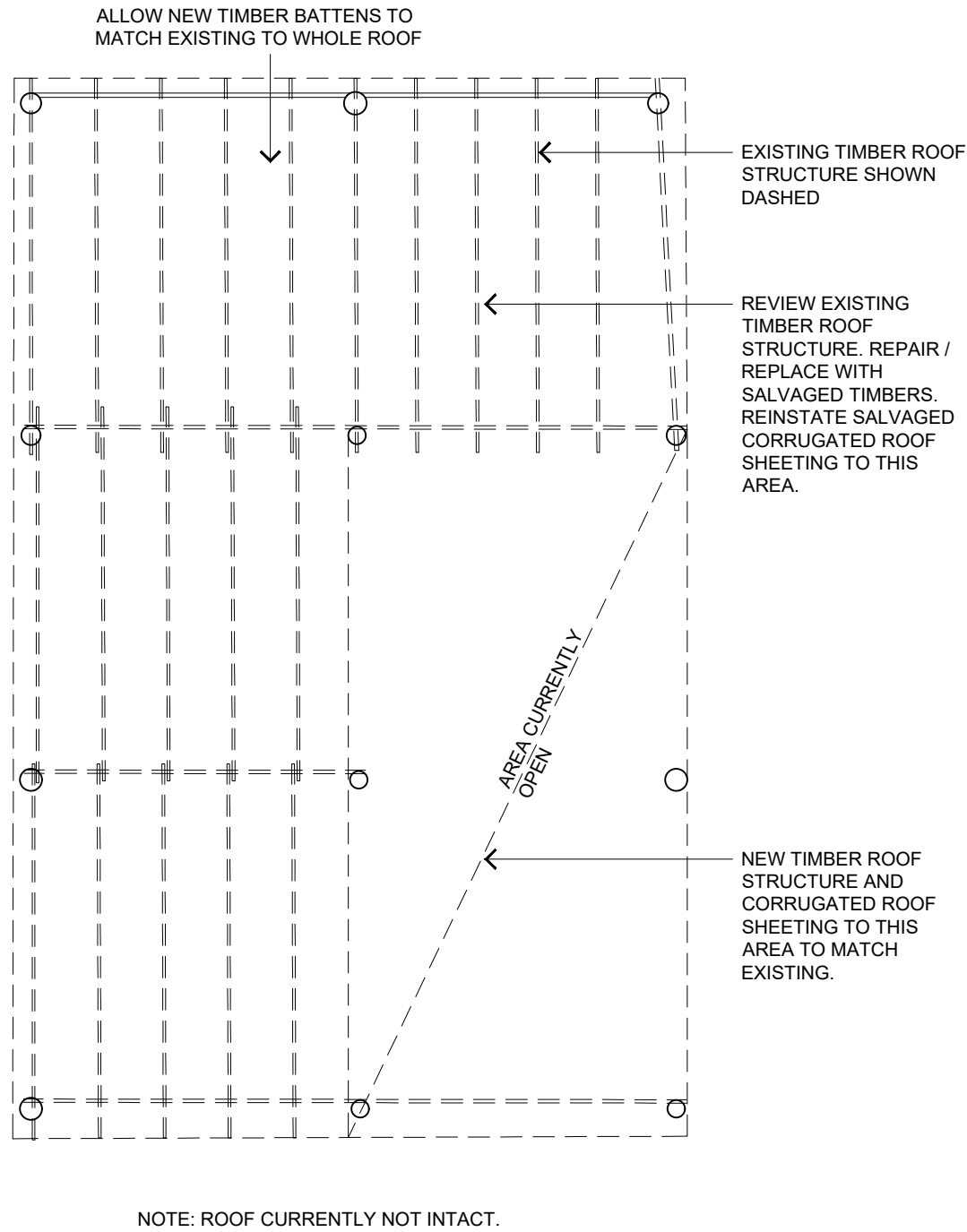
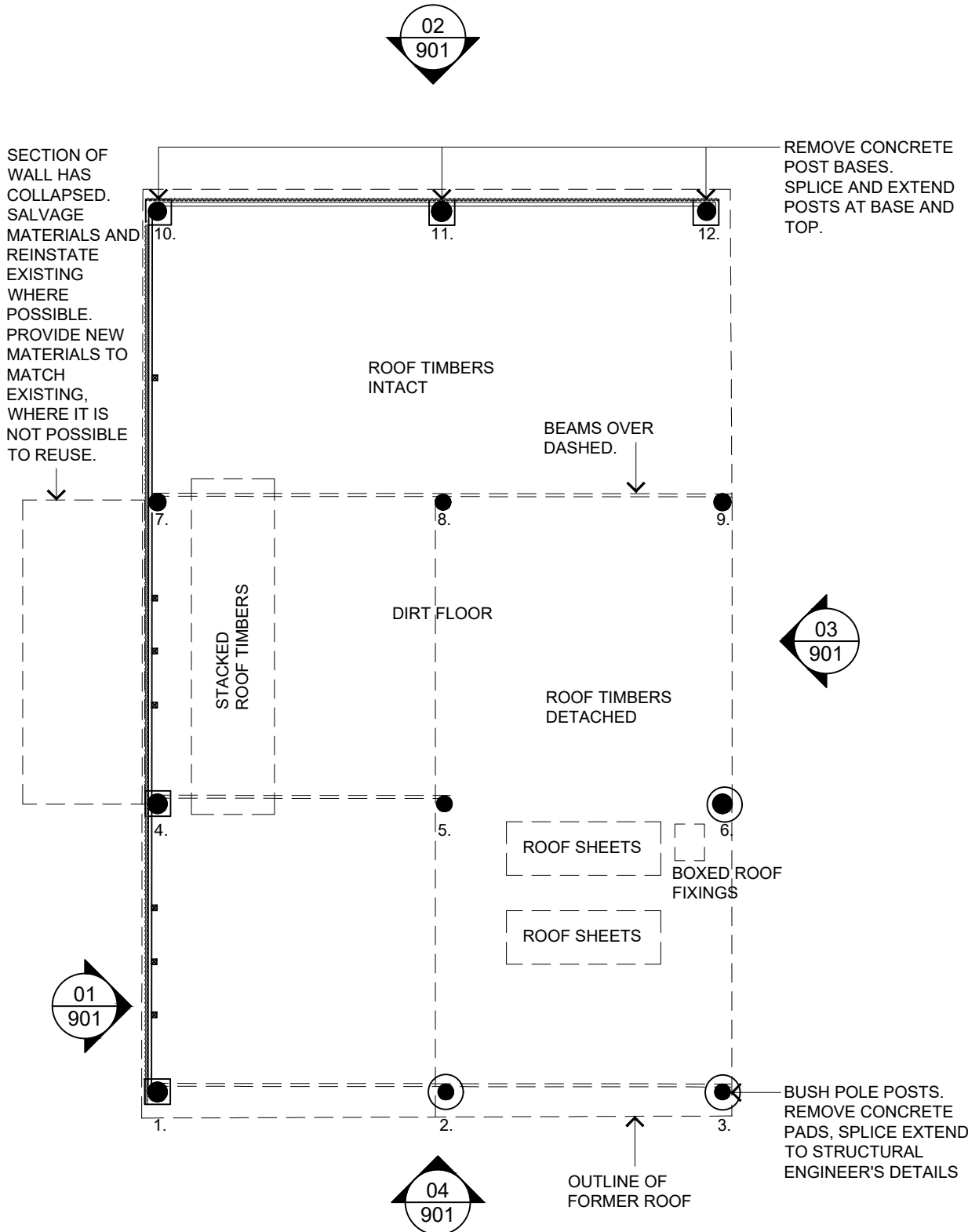
A3



USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



NOTES:
GENERAL:
IN ADDITION TO THOSE NOMINATED ON PLAN, ALLOW TO SPLICE AND EXTEND TOPS OF 5 x POSTS. ALLOW 1.2 m SPLICE AND ADD POLE DIFFUSER TO HOST SPLICE.
REMOVE TREE FROM SOUTH SIDE OF BUILDING. REMOVE GRASS AND VEGETATION IN BUILDING FOOTPRINT. RE-GRADE FLOOR TO PREVIOUS SURFACE.
REPLACE BOTTOM PLATES AND CHECK OVER WALL TIMBERS.
RETAIN ALL IRONMONGERY IN PLACE. TREAT FOR RUST WITH 'PENETROL'.
UNPACK STACKED AND BOXED MATERIALS SALVAGED FROM FORMER ROOF. REVIEW CONDITION FOR RE-USE.

ROOF:
ROOF IS TO BE REINSTATED TO PREVENT FURTHER DEGRADATION OF BUILDING. SALVAGED TIMBERS ARE TO BE USED WHERE POSSIBLE SOME EXISTING ROOF TIMBERS REMAIN. RE-SHEET THIS PART OF ROOF WITH SALVAGED SHEETING.
INSTALL NEW ROOF STRUCTURE TO MATCH EXISTING TO THE SECTION OF THE ROOF WHICH IS CURRENTLY OPEN, WITH NEW GALVANISED SHEETING. REPLACE ALL BATTENS WITH NEW TO MATCH EXISTING.
REPLACEMENT ROOF SHEETING TO BE SHORT SHEET LENGTHS. ALL ROOF SHEETING TO BE FIXED WITH BUGLE SCREWS. SPLICE AND EXTEND RAFTERS AT EACH END.
ALLOW TO REPLACE 12 RAFTERS. SALVAGE RAFTERS WHERE POSSIBLE. SPLICE AND EXTEND RAFTERS TO SOUTH EDGE OF ROOF.
TREAT ROOF SHEETING WITH 'PENETROL'.



01 PLAN
HAY SHED
1:100

02 ROOF PLAN
HAY SHED
1:100

03 IMAGE OF CONDITION
HAY SHED (12/2022)

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 **Department of Planning and Environment**

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Approved Application No: DA 23/907

Approved on: 23 June 2023

Signed: AW Sheet No: 21 of 35

 **JPA&D**
ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT
DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
HAY SHED PLANS
GROUND AND ROOF

SCALE
1:100

SHEET SIZE
A3

DESIGNED
-

DRAWN
MS

CHECKED
JP

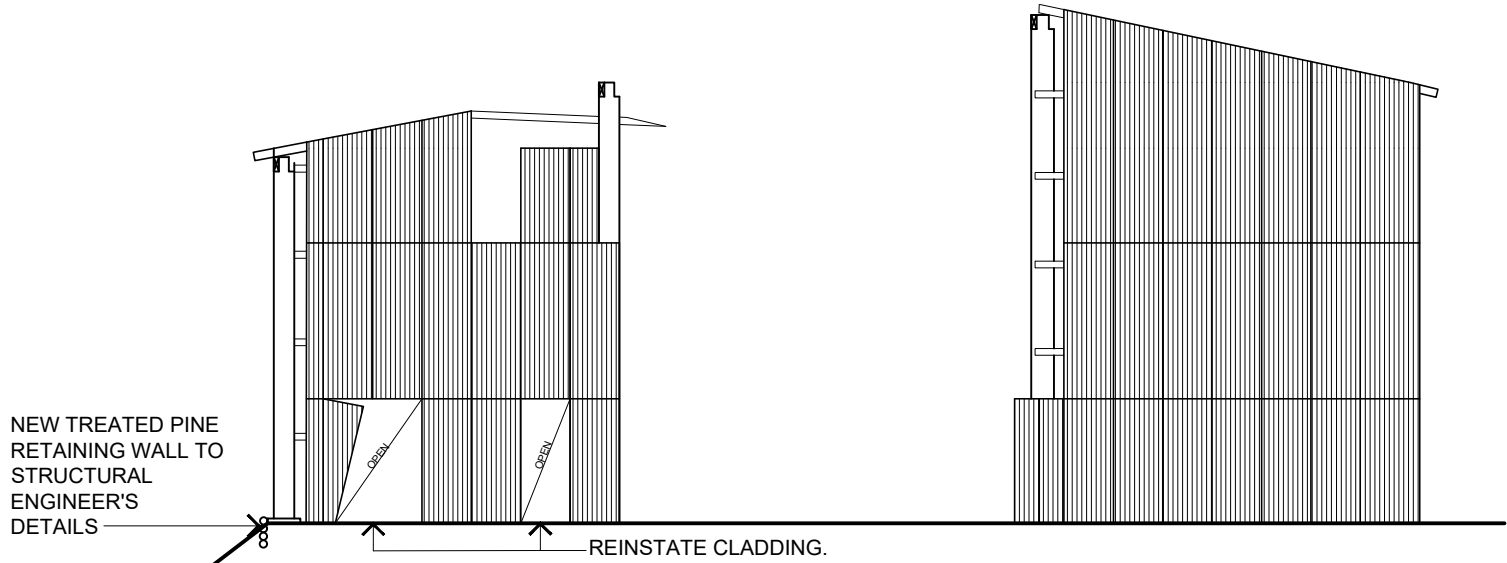
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DRAWING No.
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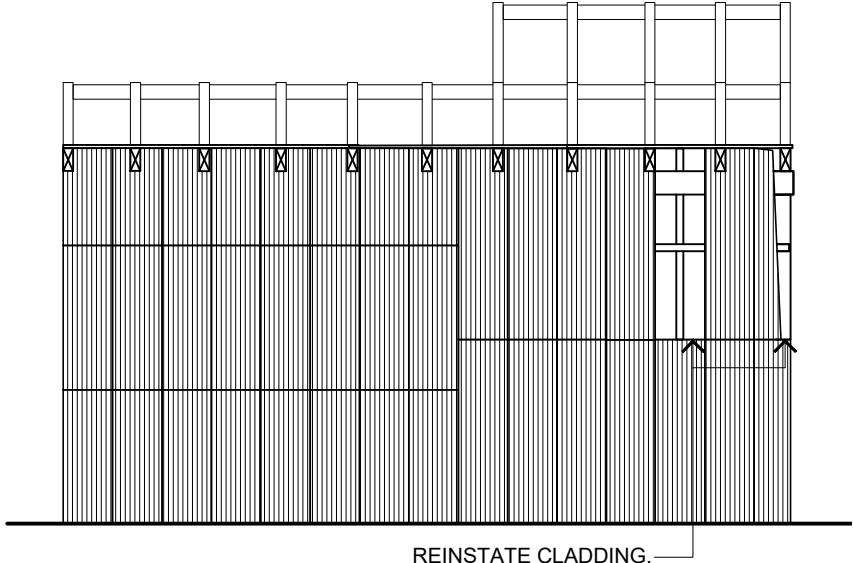
REVISION
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A3

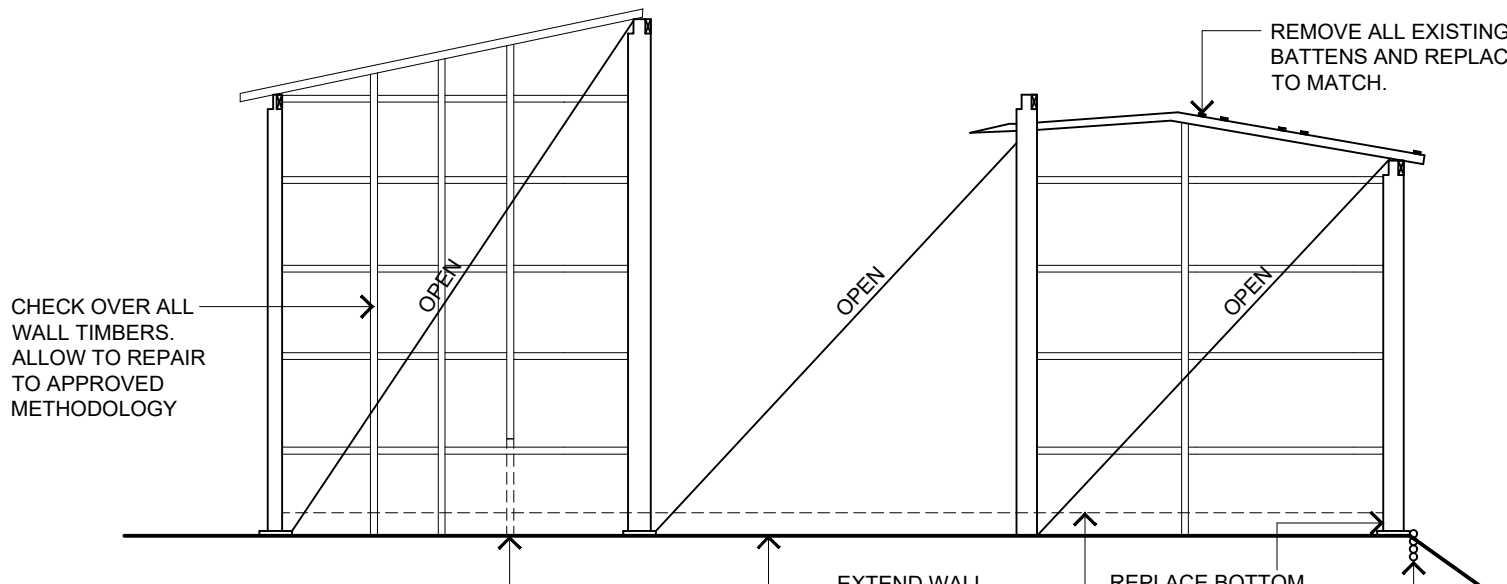
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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.
200MM
300MM ON ORIGINAL



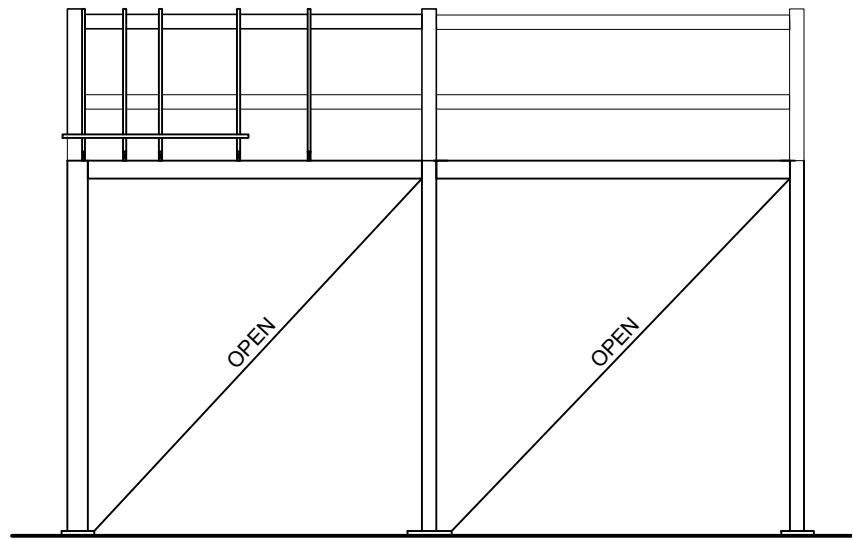
01 SOUTH ELEVATION
-- HAY SHED
SCALE: 1:100



02 WEST ELEVATION
-- HAY SHED
SCALE: 1:100



03 NORTH ELEVATION
-- HAY SHED
SCALE: 1:100
FRAMING OF SOUTH WALL SEEN IN BACKGROUND.



04 EAST ELEVATION
-- HAY SHED
SCALE: 1:100

NOTES:
GENERAL:
IN ADDITION TO THOSE NOMINATED ON PLAN, ALLOW TO SPLICE AND EXTEND TOPS OF 5 x POSTS. ALLOW 1.2 m SPLICE AND ADD POLE DIFFUSER TO HOST SPLICE.
REMOVE TREE FROM SOUTH SIDE OF BUILDING. REMOVE GRASS AND VEGETATION IN BUILDING FOOTPRINT. RE-GRADE FLOOR TO PREVIOUS SURFACE.
REPLACE BOTTOM PLATES AND CHECK OVER WALL TIMBERS.
RETAIN ALL IRONMONGERY IN PLACE. TREAT FOR RUST WITH 'PENETROL'.
UNPACK STACKED AND BOXED MATERIALS SALVAGED FROM FORMER ROOF. REVIEW CONDITION FOR RE-USE.

ROOF:
ROOF IS TO BE REINSTATED TO PREVENT FURTHER DEGRADATION OF BUILDING. SALVAGED TIMBERS ARE TO BE USED WHERE POSSIBLE SOME EXISTING ROOF TIMBERS REMAIN. RE-SHEET THIS PART OF ROOF WITH SALVAGED SHEETING.
INSTALL NEW ROOF STRUCTURE TO MATCH EXISTING TO THE SECTION OF THE ROOF WHICH IS CURRENTLY OPEN, WITH NEW GALVANISED SHEETING. REPLACE ALL BATTENS WITH NEW TO MATCH EXISTING.
REPLACEMENT ROOF SHEETING TO BE SHORT SHEET LENGTHS. ALL ROOF SHEETING TO BE FIXED WITH BUGLE SCREWS. SPLICE AND EXTEND RAFTERS AT EACH END.
ALLOW TO REPLACE 12 RAFTERS. SALVAGE RAFTERS WHERE POSSIBLE. SPLICE AND EXTEND RAFTERS TO SOUTH EDGE OF ROOF.
TREAT ROOF SHEETING WITH 'PENETROL'.

 Department of Planning and Environment

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Signed: AW Sheet No: 22 of 35

HADLEY PARK - STAGE 1: STRUCTURAL REMEDIAL WORKS

WORKS PHILOSOPHY

- WP1. REPAIRS ARE AIMED AT PROVIDING STRUCTURAL STABILITY TO THE BUILDINGS WHILE CONSERVING AND PRESERVING HERITAGE FABRIC.
- WP2. WHERE TIMBER ELEMENTS ARE SCHEDULED TO BE REPLACED THIS IS TO BE DONE ON A LIKE FOR LIKE BASIS INCLUDING DIMENSIONS AND DECORATIVE FEATURES (FOR EXAMPLE : ADZING TO EXPOSED FACES, CHAMFERS, BEVELS AND THE LIKE).
- WP3. ALL NEW TIMBER TO BE SEASONED HARDWOOD FREE OF SPLITS OR DEFECTS.
- WP4. AT SPLICES TRIM AND SHAPE TIMBER TO MATCH ADJACENT ORIGINAL TIMBER.
- WP5. REPAIR DETAILS SHOWN ARE INDICATIVE ONLY. THEY WILL NEED TO BE DIMENSIONALLY ADAPTED TO SUIT SITE GEOMETRY.
- WP5. ALL BOLTS AND BRACKETS EXPOSED TO THE WEATHER OR EMBEDDED IN EXTERNAL WALLS ARE TO BE GRADE 316 STAINLESS STEEL.
- WP6. ALL TIE WIRE AND INTERNAL BOLTS AND BRACKETS TO BE HOT DIP GALVANISED.
- WP7. PRE DRILL WHEN NAILING EXISTING MEMBERS.
- WP8. PROVIDE TEMPORARY PROPPING AND BRACING WHERE NECESSARY TO STABILISE ELEMENTS PRIOR TO AND DURING WORKS.
- WP9. WHERE POSSIBLE EXISTING MATERIAL IS TO BE KEPT IN ITS ORIGINAL LOCATION AND REPAIRED. WHERE SALVAGEABLE MATERIAL MUST BE REMOVED OR REPLACED IT SHOULD BE REUSED ELSE-WHERE IF POSSIBLE.

TIMBER LINTELS, BEAMS AND HORIZONTAL GROUNDS EMBEDDED IN THE WALLS

- TL1. ALL TIMBER LINTELS AND HORIZONTAL GROUNDS SHALL BE EXAMINED BY CAREFUL PEELING BACK OF FINISHES. WHERE CONDITION IS DOUBTFUL THE TIMBER SHALL BE DRILL TESTED WITH AN 8mm TWIST DRILL TO CHECK FOR VOIDS AND DECAY. REPAIR AND REPLACEMENT SHALL BE AGREED WITH THE ENGINEER.
- TL2. REPLACEMENT OF THE TIMBER LINTELS WILL BE BY SUITABLE TEMPORARY PROPPING AND REPLACEMENT WITH SOUND SEASONED HARDWOOD SHAPED AND FINISHED TO MATCH ORIGINAL AND PACKED TIGHT IN PLACE WITH MORTAR TO MATCH ORIGINAL.
- TL3. REPLACEMENT OF TIMBER GROUNDS CAN BE DONE IN DISCRETE LENGTHS WITH HORIZONTAL HALVED SPLICES AT JUNCTIONS. THE SPLICES DO NOT NEED TO BE CONNECTED. THE GROUNDS ARE TO BE SOUND SEASONED HARDWOOD SHAPED AND FINISHED TO MATCH ORIGINAL AND ARE TO BE SET INTO A MORTAR NEED TO BE CONNECTED. THE GROUNDS ARE TO BE SET INTO A MORTAR BACKING AND MORTAR PACKED ALL AROUND.
- TL4. REPLACEMENT TIMBER IS TO BE NEATLY AND DISCRETELY MARKED 2010 BY ENGRAVING OR STAMPING INTO A SUITABLE EXPOSED POSITION
- TL5. FOR ESTIMATING PURPOSES ALLOW FOR REPLACEMENT OF 100 LINEAL METRES OF EMBEDDED TIMBER GROUNDS. PROVIDE A RATE PER LINEAL METRE FOR REPLACEMENT OF GROUNDS TO ALLOW ADJUSTMENT TO COSTS FOR LENGTHS GREATER OR LESS THAN THIS ALLOWANCE.

TERMITE PROTECTION

- TP1. WHERE DISTURBED BY THE WORKS REMOVE AND REPLACE TERMITE BAITING STATIONS AT COMPLETION

GENERAL NOTES

- G1. THESE STRUCTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL APPROVAL CONDITIONS, ARCHITECTURAL AND OTHER CONSULTANTS' DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ANY DISCREPANCY SHALL BE REFERRED TO THE STRUCTURAL ENGINEER BEFORE PROCEEDING WITH THE WORK.
- G2. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH SOUND HERITAGE CONSERVATION PRACTICE.
- G3. ALL SET OUT DIMENSIONS SHOWN ON THESE STRUCTURAL DRAWINGS SHALL BE VERIFIED BY THE BUILDER ON SITE. DO NOT SCALE THESE STRUCTURAL DRAWINGS FOR DIMENSIONS.
- G4. UNLESS NOTED OTHERWISE ALL LEVELS ARE IN METRES AND ALL DIMENSIONS ARE IN MILLIMETRES.
- G5. THE METHOD OF CONSTRUCTION AND THE MAINTENANCE OF BUILDING STABILITY SAFETY DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE BUILDER. IF ANY STRUCTURAL ELEMENT PRESENTS DIFFICULTY IN RESPECT OF CONSTRUCTABILITY OR SAFETY, THE MATTER SHALL BE REFERRED TO THE STRUCTURAL ENGINEER FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
- G6. DURING CONSTRUCTION THE STRUCTURE SHALL BE PROTECTED AND MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERLOADED. THE BUILDER SHALL PROVIDE TEMPORARY BRACING, SHORING AND PROPPING IN ORDER TO KEEP THE BUILDING WORKS AND EXCAVATIONS STABLE AT ALL TIMES. ALL TEMPORARY WORKS SHALL BE APPROVED BY THE ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO IMPLEMENTATION.
- G7. THE BUILDER IS RESPONSIBLE FOR THE ADEQUACY OF ALL TEMPORARY WORKS INCLUDING SHORING, PROPPING AND BRACING AND WHERE NECESSARY IS TO ENGAGE A STRUCTURAL ENGINEER TO DESIGN AND CERTIFY HIS TEMPORARY WORKS.
- G8. IF THERE IS A DISCREPANCY IN MEMBER SIZES FOR ANY COMPONENT, ASSUME FOR PRICING PURPOSES ONLY THAT THE LARGER OR MORE EXPENSIVE SIZE IS CORRECT. REFER TO STRUCTURAL ENGINEER FOR DECISION BEFORE DETAILING OR CONSTRUCTION.
- G9. DETAIL AND SECTION IDENTIFICATION

1 ——— DETAIL OR SECTION REFERENCE
S01 ——— DRAWING REFERENCE

TIMBER

- T1. ALL TIMBER DESIGN, MATERIAL AND CONSTRUCTION TO COMPLY WITH AS1170
- T2. TIMBER FRAMING SHALL COMPLY WITH AS1684
- T3. HARDWOOD TO BE SEASONED, MINIMUM GRADE F14, JOINT GRADE J3 UNO SUBMIT SUPPLIER'S CERTIFICATE AS TO STRESS GRADE OF TIMBER MEMBERS. ALL TIMBER SHALL BE YEAR MARKED
- T4. EXTERNAL TIMBER SHALL BE HARDWOOD MINIMUM DURABILITY CLASS 1
- T5. ALL SIZES ASSUME NO NOTCHING. ALL JOINTS AND ENDS ARE TO BE A MIN 100mm AWAY FROM ANY TIMBER DEFECTS
- T6. ALL BOLTS IN TIMBER CONSTRUCTION TO BE MINIMUM M16 UNLESS NOTED OTHERWISE. BOLT HOLES TO BE DRILLED EXACT BOLT SIZE. WASHERS UNDER HEADS AND NUTS TO BE AT LEAST 2.5 TIMES BOLT DIAMETER.
- T7. TIMBER TOLERANCES ON THE FINISHED WIDTH AND THICKNESS TO BE IN ACCORDANCE WITH AS2082, AS1748, AS3519 AS APPROPRIATE
- T8. ALL TIMBER JOINTS AND NOTCHES ARE TO BE 100MM MINIMUM AWAY FROM LOOSE KNOTS, SEVERE SLOPING GRAIN, GUM VEINS OR OTHER MINOR DEFECTS.

CLAY BRICK MASONRY

- M1. BRICK REPAIRS SHALL BE CARRIED OUT WITH SALVAGED BRICKS FROM SITE OR BRICKS FROM ELSEWHERE OF AS CLOSE A MATCH AS POSSIBLE IN COLOUR, TEXTURE & SIZE. BRICKS TO BE APPROVED BY THE SUPERINTENDENT.
- M2. EXISTING MORTAR SHALL BE ANALYSED FOR COMPOSITION BY APPROPRIATE TESTING LABRATORY. NEW MORTAR SHALL MATCH EXISTING.
- M3. SALVAGE AND REUSE EXISTING MORTAR SUPPLIMENTED WITH NEW MORTAR
- M4. WHERE SUITABLE BRICKS CAN NOT BE SOURCED THEN THE BUILDER IS TO HAVE BRICKS MANUFACTURED TO MATCH EXISTING. THE BUILDER IS TO PREPARE A SAMPLE OF TEN BRICKS FOR THE ARCHITECTS APPROVAL PRIOR TO MANUFACTURING THE REMAINDER
- M5. ALL MANUFACTURED BRICKS ARE TO BE PERMANENTLY MARKED TO IDENTIFY THEM AS NON-ORIGINAL. THE NATURE OF THE MARK IS TO BE AGREED WITH THE ARCHITECT
- M6. ALL LOOSE FRETTED BRICKWORK IS TO BE REMOVED FROM EXPOSED FACES
- M7. BRICKS WITH LESS THAN 15 mm OF LOSS OF FACE MAY REMAIN IN-SITU IF DESALINATED AND SOUND
- M8. BRICKS WITH MORE THAN 15 mm OF LOSS BUT LESS THAN 30mm OF LOSS MAY BE ROTATED AND RE-USED IF DESALINATED AND SOUND. THE VOID SPACE IS TO BE MADE UP WITH MORTAR
- M9. DESALINATE BRICKS THAT ARE SALVAGED FROM ELSEWHERE.
- M10. AREAS OF MORTAR LOSS ARE TO BE RE-POINTED USING MATCHING MORTAR TO ACHIEVE FULL DEPTH BEARING CONTACT ON BEDS AND PERPENDS, AS INSTRUCTED BY THE SUPERINTENDENT
- TENDERERS SHALL ALLOW FOR 10SQM OF RE-POINTING WITH A +/- RATE FOR VARIATION

BRICK STITCHING

- BS1. REMEDIAL BRICK REINFORCING IS TO BE CARRIED OUT USING 6mm STAINLESS STEEL HELIBARS BY HELIFIX FIXED WITH LIME MORTAR, (NOT WITH HELIBOND, CEMENTITIOUS MORTARS OR EPOXY MORTARS)
- BS2. BRICK REINFORCING SHOWN ON THE DRAWINGS IS INDICATIVE OF LAYOUT. DETAILED LAYOUT IS TO BE AGREED ON SITE WITH THE STRUCTURAL ENGINEER AND ARCHITECT

POST SUPPORT

- PS1. MAINTAIN SOUND POSTS AND POST REMNANTS IN-SITU. ALLOW TO PROP AND SUPPORT AS REQUIRED
- PS2. ANY PROPOSED REMOVAL IS TO BE CONFIRMED WITH THE ARCHITECT AND ENGINEER PRIOR TO REMOVAL

USE OF PROPRIETARY MATERIALS

- PM1 ALL PROPRIETARY MATERIALS MUST BE USED STRICTLY ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.

EXISTING PROP REMOVAL

- PR1. PROPS SHALL ONLY REMOVED ONCE ALL OF THE REMEDIAL WORKS ARE COMPLETED AND INSPECTED BY THE ENGINEER
- PR2. INSERT AN ACROW PROP ADJACENT TO THE PROP TO BE REMOVED AND APPLY SUFFICIENT SCREW PRESSURE TO JUST ALLOW THE EXISTING PROP TO BE REMOVED
- PR3. CAREFULLY REMOVE THE EXISTING PROP WITH CAUSING ANY IMPACT
- PR4. MONITORING THE STRUCTURE OVER, SLOWLY RELEASE THE ACROW PROP AND CHECK THAT NOW MOVEMENT HAS TAKEN PLACE
- PR5. IF ANY MOVEMENT OCCURS, RE-TIGHTEN THE ACROW PROP AND ADVISE THE ENGINEER IMMEDIATELY

FIRST FLOOR AND ROOF TIMBER FRAMING

- FF1. ALL THE TIMBER FLOOR/CEILING JOISTS, BEARERS AND RAFTERS MUST BE INVESTIGATED AND ASSESSED FOR RE-USE PRIOR TO REMOVAL OF ANY OF THE EXISTING PROPS
- FF2. ANY PROP REMOVAL SHALL COMPLY WITH THE PR NOTES ABOVE
- FF3. SUBJECT TO THE APPROVAL OF THE ARCHITECT, REMOVE ALL CEILING LININGS (OR FLOOR BOARDS) TO FACILIATE A FULL AND COMPLETE INSPECTION OF THE JOISTS AND BEARERS
- FF4. ALL TIMBER MEMBERS SHALL 'SOUNDED' TO DETERMINE ANY LOCALISED AREAS OF DECAY. IDENTIFIED AREAS SHALL BE DRILL RESISTANCE TESTED WITH A <6mm DIAMETER TWIST DRILL
- FF5. IF DURING DRILL TESTING AN AREA HAS A DEFECT > DEPTH OR WIDTH BY 20% OF THE OVERALL DIMENSION, THE ENGINEER MUST BE ADVISED. A REPAIR OR SUPPLEMENTATION INSTRUCTION WILL THEN BE ISSUED BY THE ENGINEER
- FF6. FOR TENDERING PUPOSES ONLY ALLOW FOR NEW TIMBER MEMBERS:
BEARERS: 300x63 LVL 10m
JOISTS: 100x45 LVL 30m
RAFTERS: 150x45 LVL 20m
AND PROVIDE A +/- RATE FOR VARIATION TO THE ABOVE
- FF7. ALL NEW TIMBER SHALL BE DATE STAMPED WITH THE YEAR OF INSTALLATION, IN AN EXPOSED YET DISCRETE LOCATION

MEMBER KEY

T TOP FLOOR
B BOTTOM FLOOR
P POST
CR CHAIR RAIL GROUNDS
GD SKIRTING GROUNDS
J JOIST
DT DECAYED TIMBER

ELEMENTS ARE NUMBERED ON PLAN.
BOARDS, JOISTS, RAFTERS ETC ARE NUMBERED FROM NORTH TO SOUTH AND FROM WEST TO EAST (AS APPROPRIATE FOR ORIENTATION).

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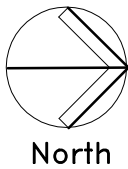
Approved on: 23 June 2023

Signed: AW Sheet No: 23 of 35

Date: JUNE 2022

Drawing No. 1842- S101 1 OF 9 Revision B

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Project
HADLEY PARK - STAGE 1
113 CASTLEREAGH ROAD
CASTLEREAGH

Client
DEPT PLANNING, INDUSTRY & ENVIRONMENT

Architect / Project Manager
JPA&D

Drawing Title
NOTES

Scales

Drawing No.

1842- S101

1 OF 9

Revision B

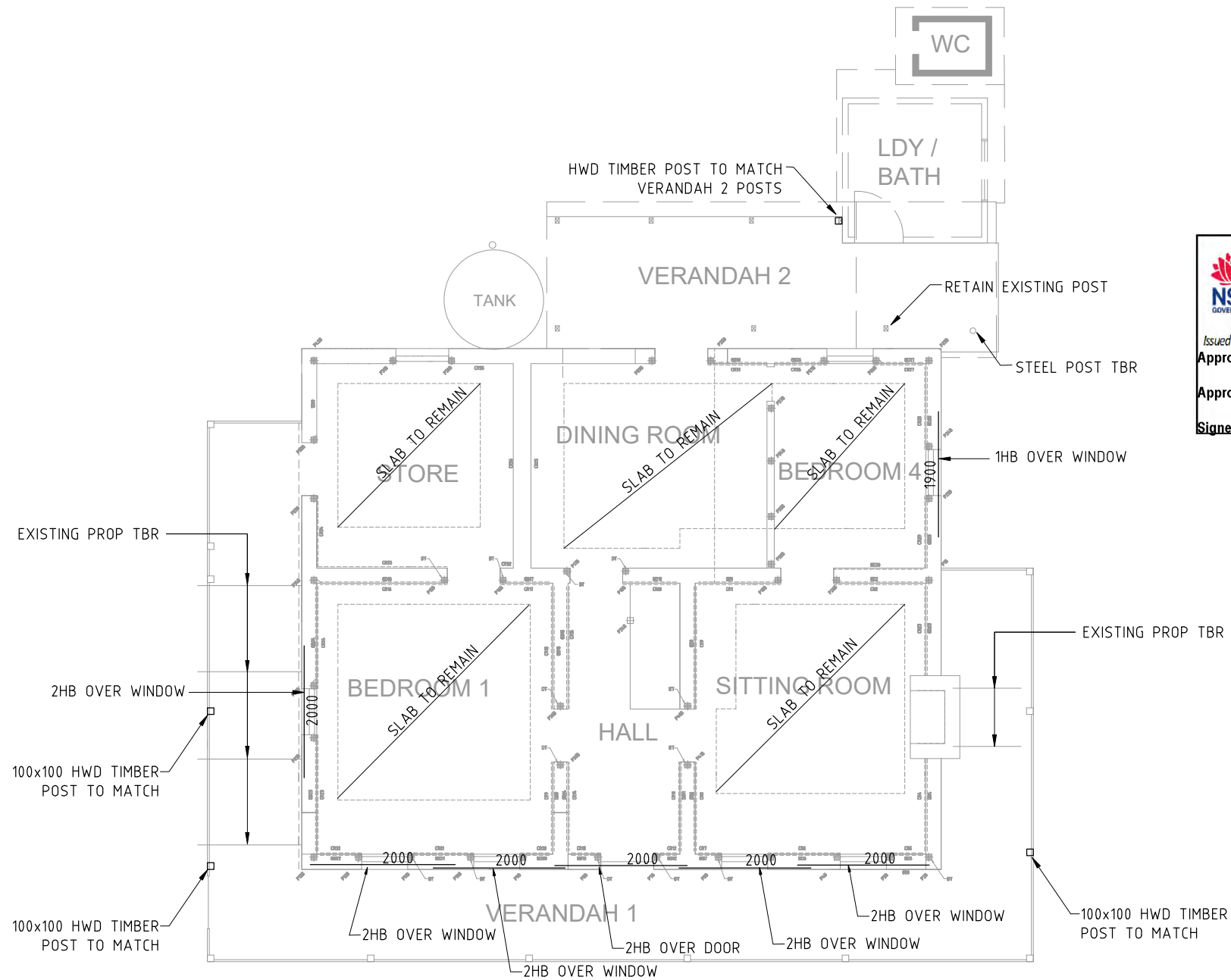
A3 SHEET

150mm

100mm

50mm

Revision	Amendment or reason for issue	Issue date	Drawing Completed by	Designed & dwg. checked by
B	RE-FORMATTED TO A3	04.08.22	PGN	MdC
A	PRELIMINARY ISSUE	01.02.22	PGN	MdC



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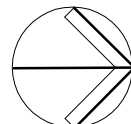
GROUND FLOOR

SCALE 1:100

XHB	X 6mm G316 HELIBARS LAYOUT TO BE CONFIRMED WITH ENGINEER ON SITE
XXXX	LENGTH OF HELIBAR (mm)
TBR	TO BE REMOVED, AFTER INSTALLATION OF REMEDIAL BRACING AND AFTER DIRECTION BY THE ENGINEER

1. SPLICE REPLACE DECAYED VERANDAH POST BASES
2. RE-LEVEL VERANDAH BEAMS
3. GRADE FINISHED GROUND LEVELS AWAY FROM THE VERANDAH
REFER TO CIVIL DRAWING BY OTHERS

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Project
HADLEY PARK - STAGE 1
113 CASTLEREAGH ROAD
CASTLEREAGH

Client
DEPT PLANNING, INDUSTRY & ENVIRONMENT

Architect / Project Manager
JPA&D

Drawing Title
GROUND FLOOR

Scales
1:100

Drawing No.

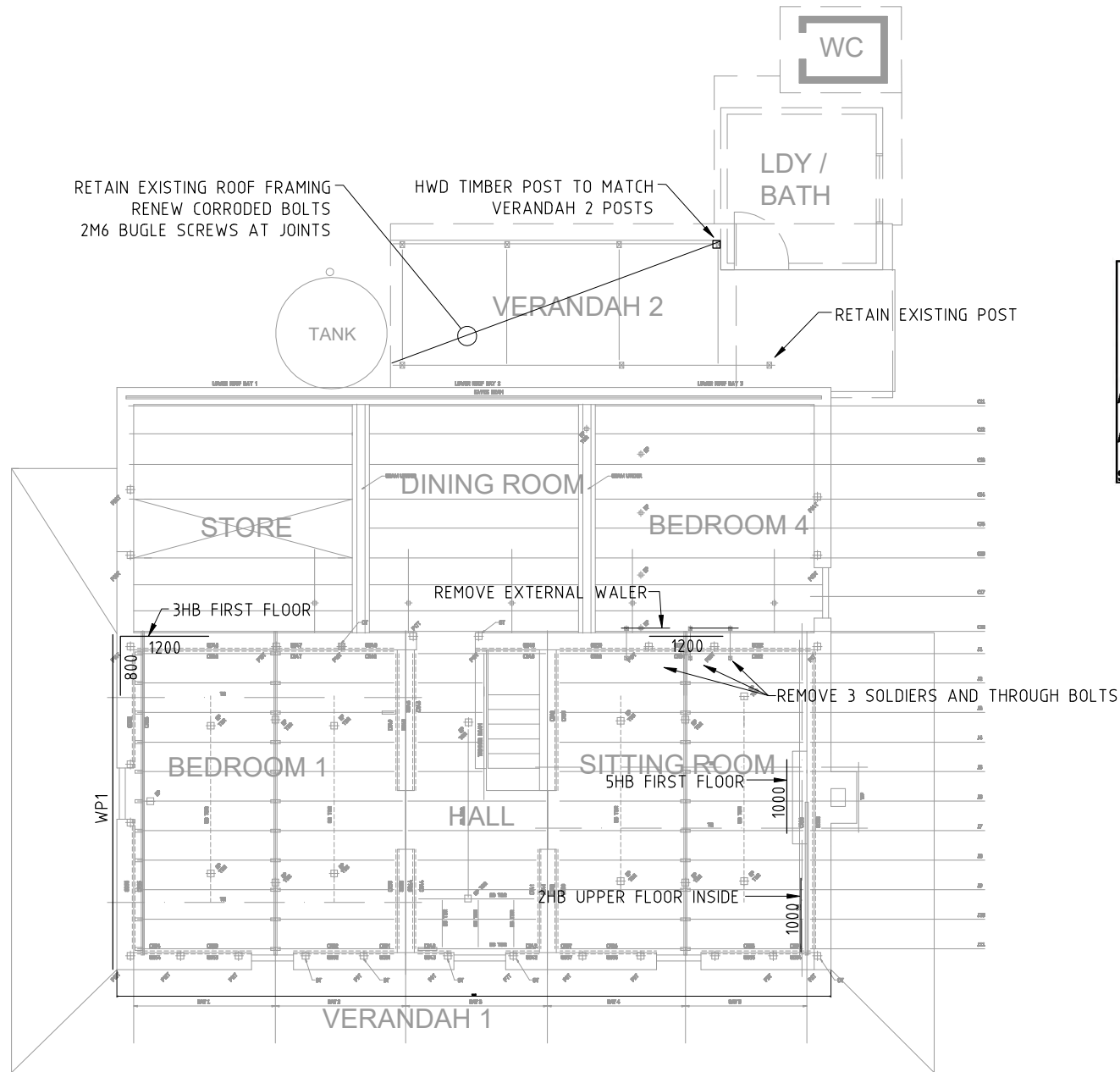
1842- S102

Date
JUNE 2022

2 OF 9

Revision
B

DATE :
PLOTTED BY :
FLENNE



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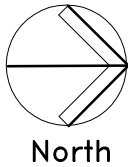
Signed: AW Sheet No: 25 of 35

FIRST FLOOR, LOWER CEILING AND VERANDAH 2 ROOF PLAN
SCALE 1:100

- XHB X 6mm G316 HELIBARS
LAYOUT TO BE CONFIRMED WITH ENGINEER ON SITE
- XXXX LENGTH OF HELIBAR (mm)
- TBR TO BE REMOVED, AFTER INSTALLATION OF REMEDIAL BRACING
AND AFTER DIRECTION BY THE ENGINEER

Revision	Amendment or reason for issue	Issue date	Drawing Completed by	Designed & dwg. checked by
B	RE-FORMATTED TO A3	04.08.22	PGN	MdC
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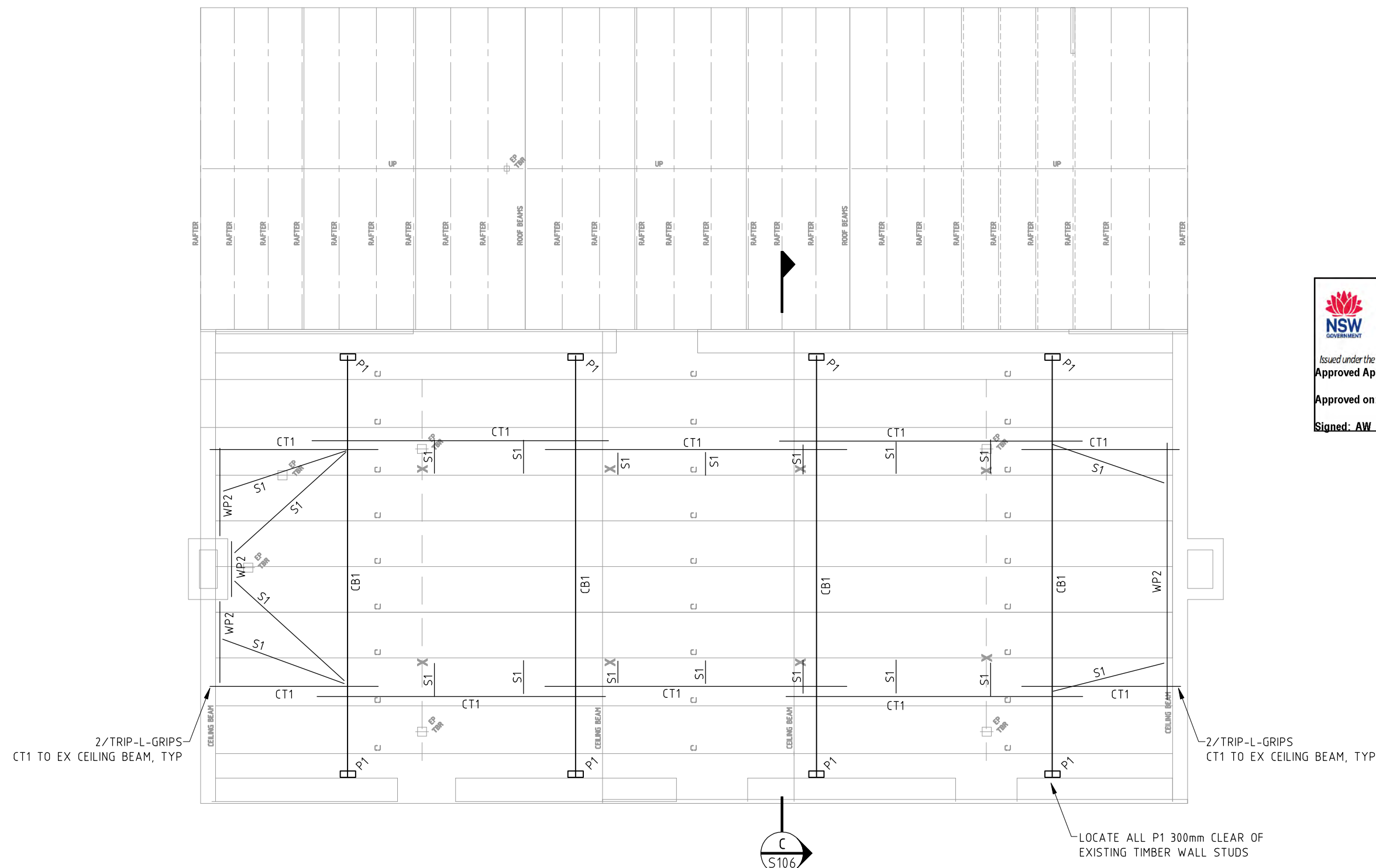


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Project	HADLEY PARK - STAGE 1 113 CASTLEREAGH ROAD CASTLEREAGH
Client	DEPT PLANNING, INDUSTRY & ENVIRONMENT
Architect / Project Manager	JPA&D

Drawing Title	FIRST FLOOR PLAN LOWER CEILING PLAN VERANDAH 2 ROOF PLAN
Scales	1:100
Date	JUNE 2022
Drawing No.	1842- S103
3 OF 9	
Revision	B





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UPPER CEILING AND LOWER ROOF PLAN

SCALE 1:50

P1 150x63 LVL POST
S1 90x63 LVL STRUT

CB1 200x63 LVL CEILING BEAM
CT1 150x63 LVL CEILING TIE

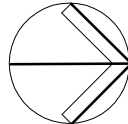
WP2 170x63 LVL WALL PLATE
M12 G304 STAINLESS STEEL CHEMICAL MASONRY ANCHORS AT 600 CENTRES
MINIMUM 2 PER WALL PLATE

A3 SHEET

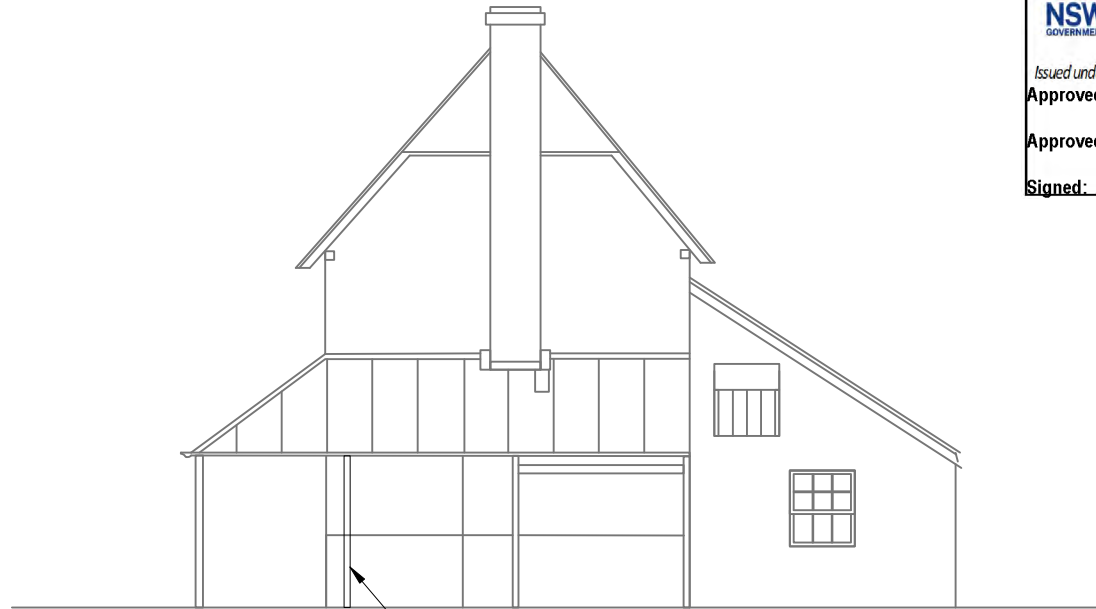
150mm

100mm

50mm

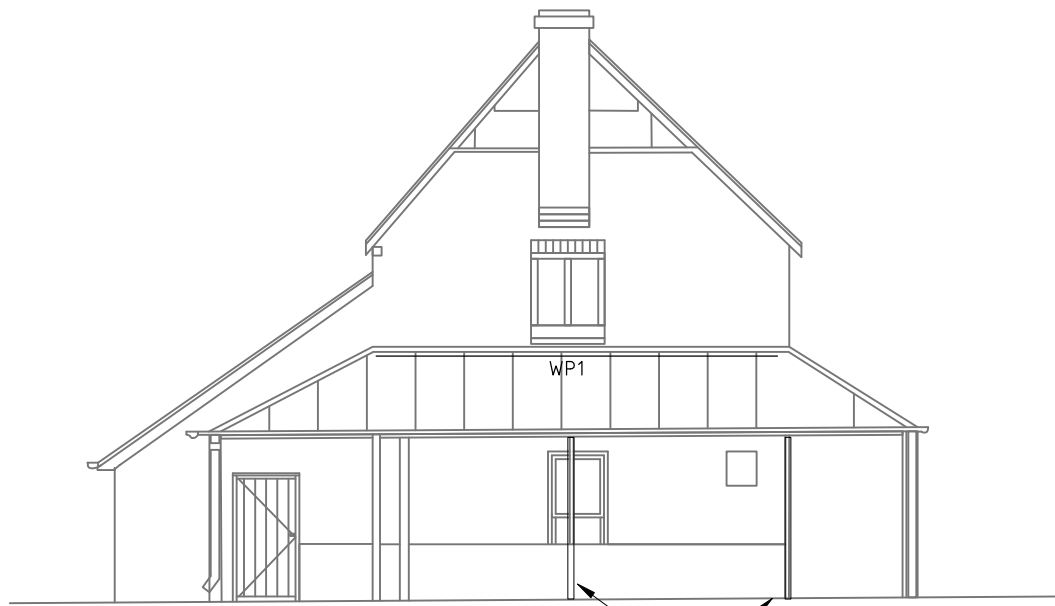
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<table><tr><td>B</td><td>RE-FORMATTED TO A3</td><td>04.08.22</td><td>PGN</td><td>MdC</td></tr><tr><td>A</td><td>PRELIMINARY ISSUE</td><td>01.02.22</td><td>PGN</td><td>MdC</td></tr></table>					B	RE-FORMATTED TO A3	04.08.22	PGN	MdC	A	PRELIMINARY ISSUE	01.02.22	PGN	MdC	<div><div>Client</div><div>DEPT PLANNING, INDUSTRY & ENVIRONMENT</div></div>		<div><div>Scales</div><div>1:50</div></div>		<div><div>Date</div><div>JUNE 2022</div></div>	
B	RE-FORMATTED TO A3	04.08.22	PGN	MdC																
A	PRELIMINARY ISSUE	01.02.22	PGN	MdC																
Revision		Amendment or reason for issue			Issue date	Drawing Completed by	Designed & dwg. checked by	Architect / Project Manager		Drawing No.		Revision								
								JPA&D		1842- S104		4 OF 9								

DATE :
TIME :
PLOTTED BY :
FLENNE



NORTH ELEVATION

SCALE 1:100



SOUTH ELEVATION

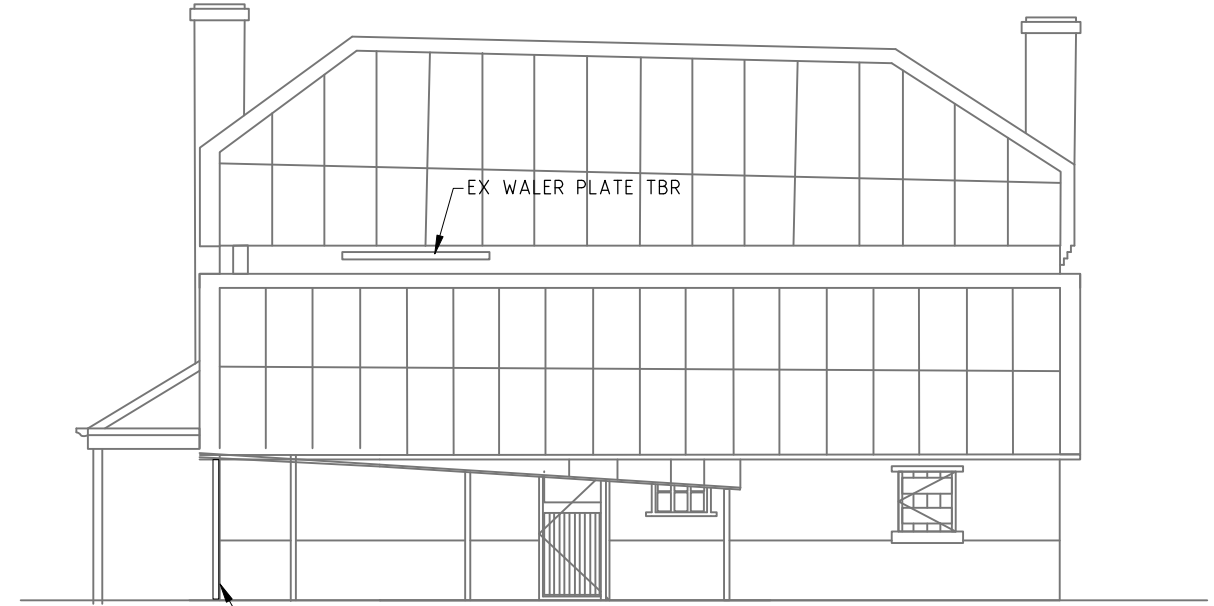
SCALE 1:100

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Approved on: 23 June 2023
Signed: AW Sheet No: 27 of 35



EAST ELEVATION

SCALE 1:100



WEST ELEVATION

SCALE 1:100

RE-ALIGN ALL VERANDAH BEAMS, PLUMB
POSTS AND SPLICE REPLACE POST BASES,
AS DIRECTED BY THE ENGINEER

Revision	Amendment or reason for issue	Issue date	Drawing Completed by	Designed & dwg. checked by
B	RE-FORMATTED TO A3	04.08.22	PGN	MdC
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Project HADLEY PARK - STAGE 1 113 CASTLEREAGH ROAD CASTLEREAGH	Drawing Title ELEVATIONS
Client DEPT PLANNING, INDUSTRY & ENVIRONMENT	Scales 1:100
Architect / Project Manager JPA&D	Date JUNE 2022
Drawing No. 1842- S105	Revision B



TYPICAL CRACK STITCHING
ELEVATION

 Department of Planning
and Environment

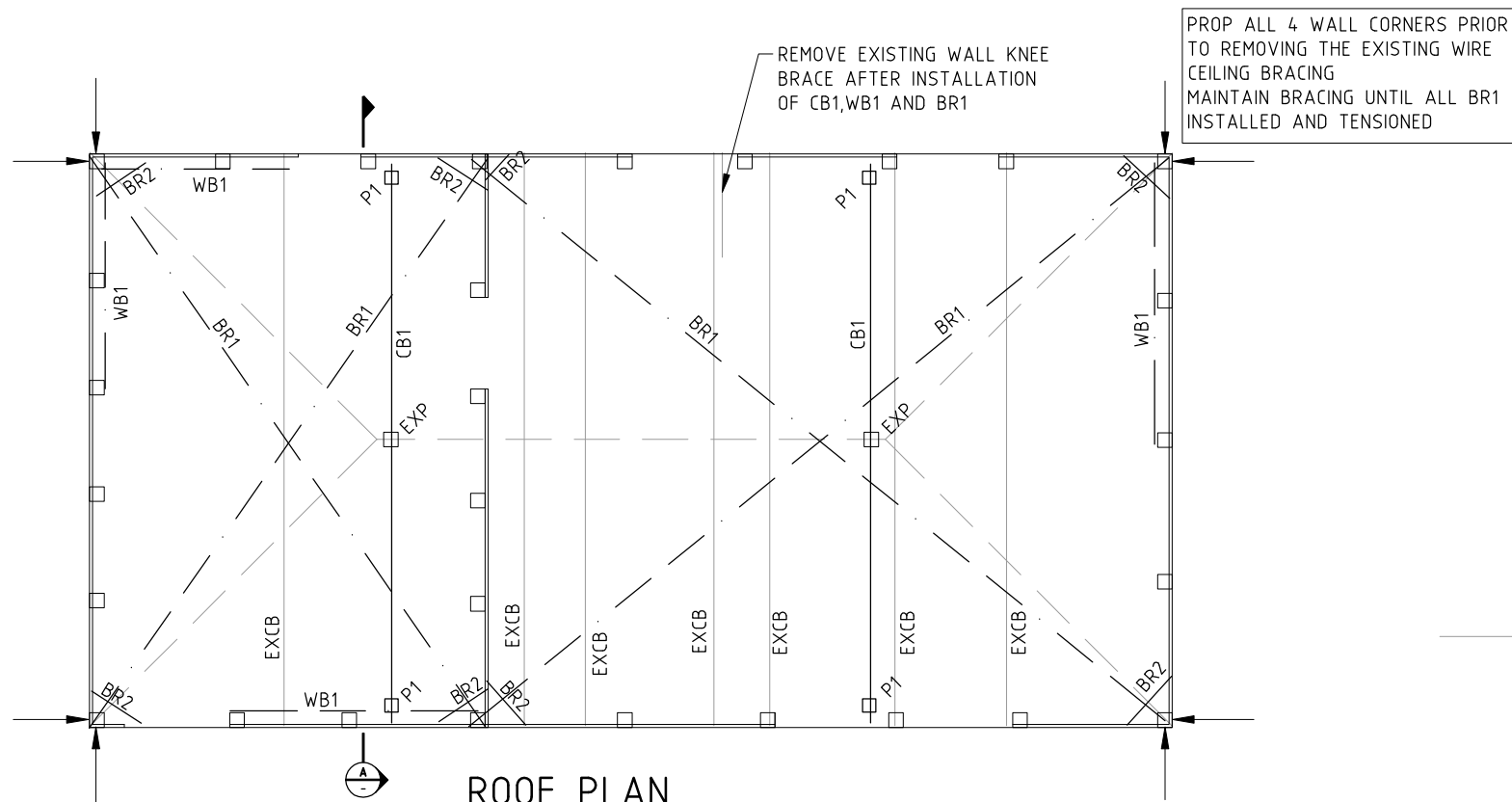
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A	PRELIMINARY ISSUE	01.02.22	PGN	MdC
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Drawing Title SECTIONS DETAILS			
Scales 1:100; 1:50; NTS		Date JUNE 2022	
Drawing No. 1842- S106		6 OF 9	Revision B

**ROOF PLAN**
SCALE 1:50**SCHEDULE:**

EXCB-EXISTING CEILING BEAM

EXP- EXISTING POST, CUT DOWN TO FORM NEW KING POST

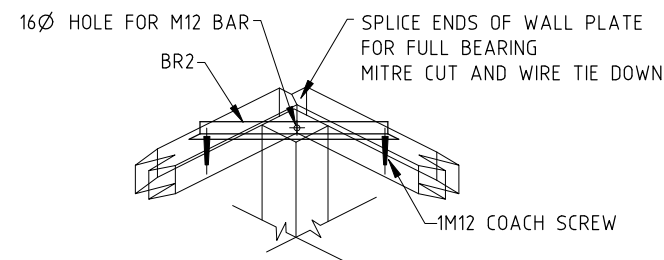
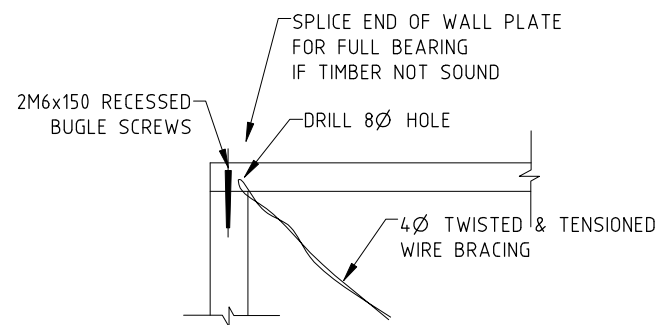
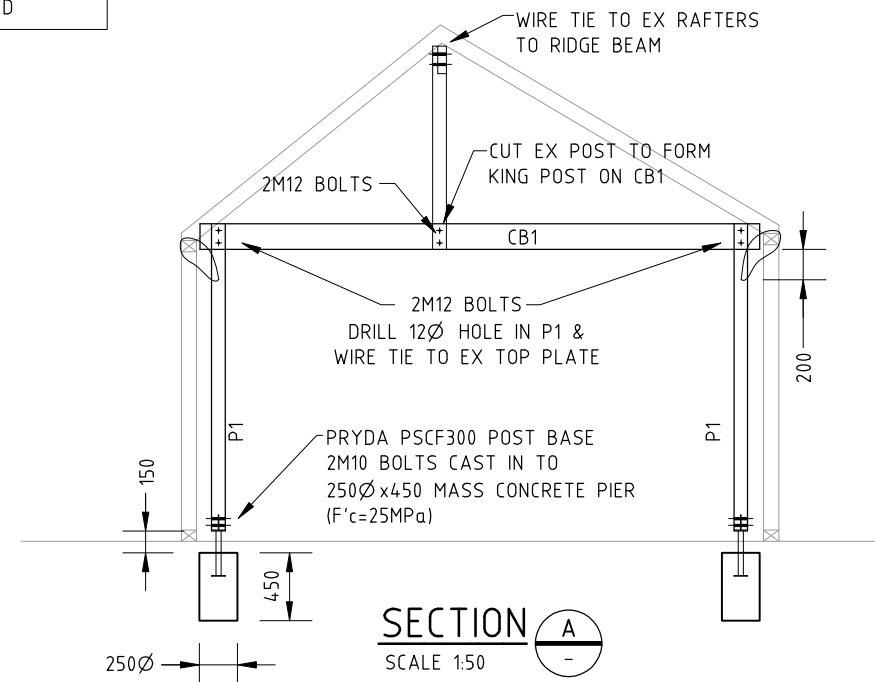
P1- 90x90 F7 (H3) POST

CB1- 170x63 LVL CEILING BEAM

BR1- M12 GALVANISED THREADED BAR CEILING TIE, TENSIONED

BR2- 32EA6 GALVANISED ANCHOR BRACKET

WB1- 4Ø GALVANISED WIRE 'X' WALL BRACING TWISTED INTO TENSION

**WALL CORNER PERSPECTIVE**
SCALE 1:20**TYPICAL WB1 DETAIL**
SCALE 1:20
BOTTOM WALL PLATE SIMILAR
SKEW SCREWS TO SUIT**SECTION A-A**
SCALE 1:50Department of Planning
and Environment

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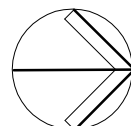
Approved Application No: DA 23/907

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Signed: AW Sheet No: 29 of 35

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HADLEY PARK - STAGE 1
113 CASTLEREAGH ROAD
CASTLEREAGHClient
DEPT PLANNING, INDUSTRY & ENVIRONMENTArchitect / Project Manager
JPA&DDrawing Title
**WEATHERBOARD COTTAGE
ROOF FRAMING REMEDIAL WORK
PLAN AND DETAILS**Scales
1:50; 1:20Drawing No.
1842- S107Date
JUNE 2022

7 OF 9

Revision
B



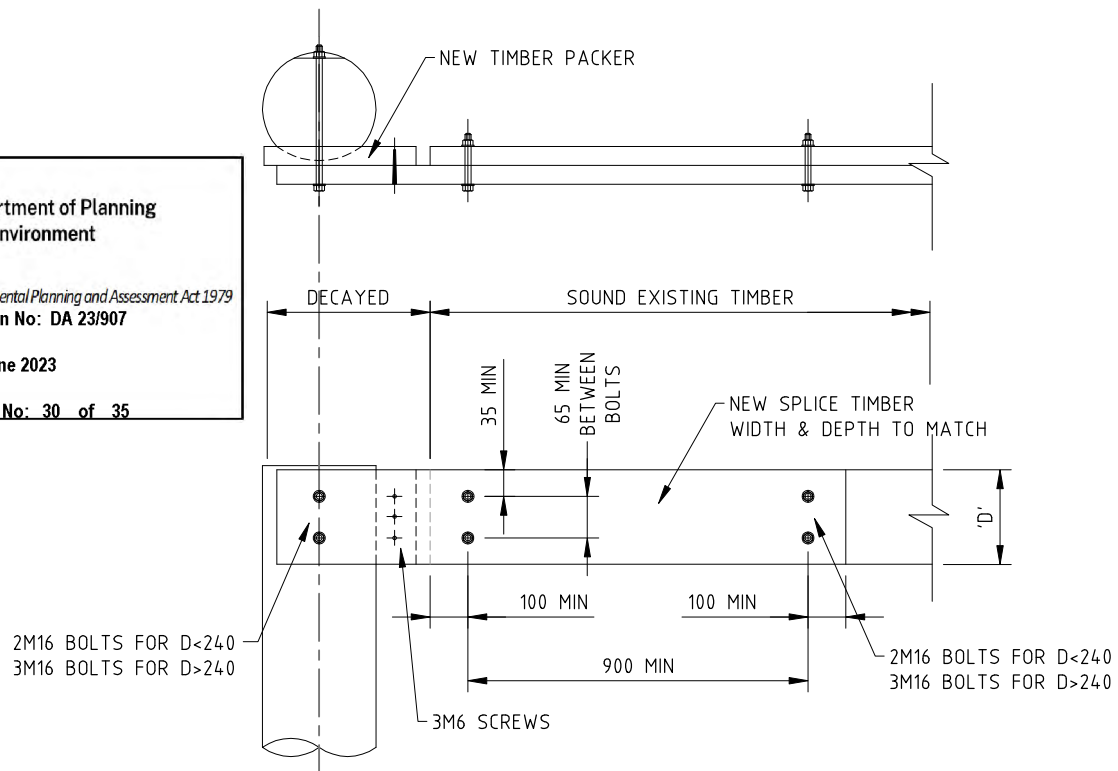
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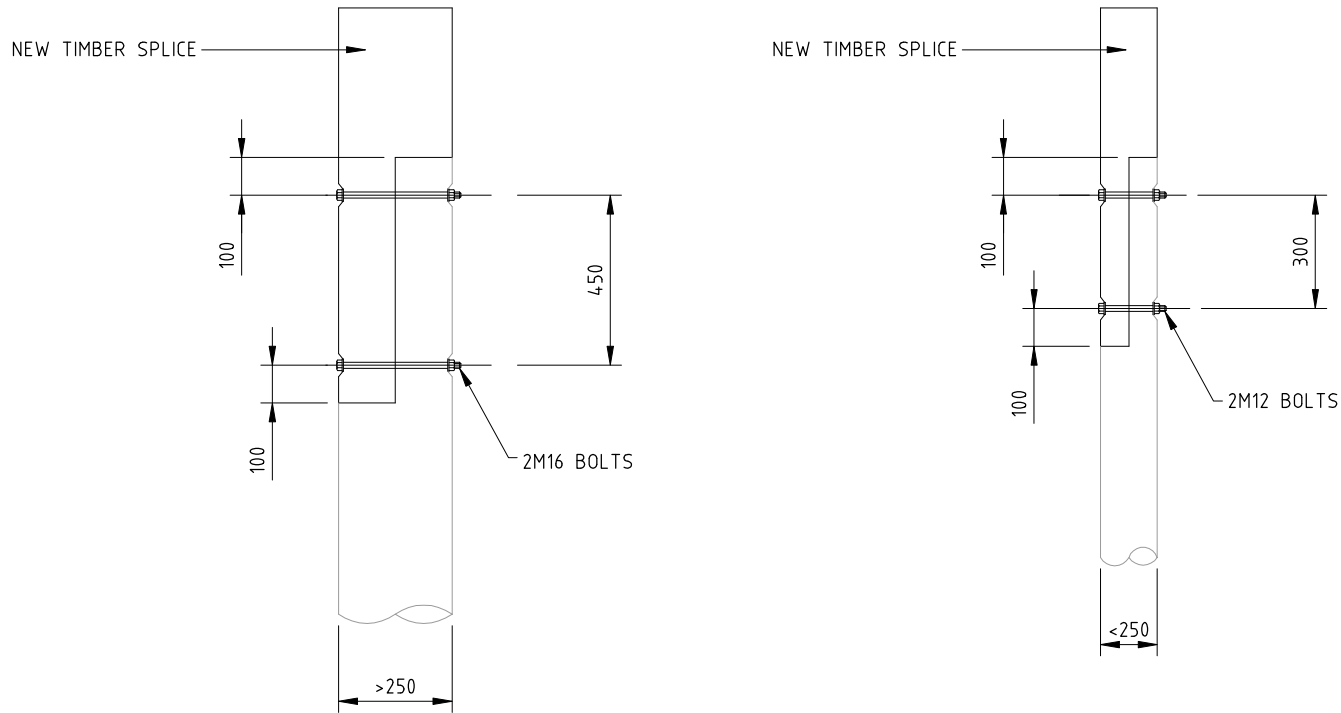
Approved on: 23 June 2023

Signed: AW Sheet No: 30 of 35



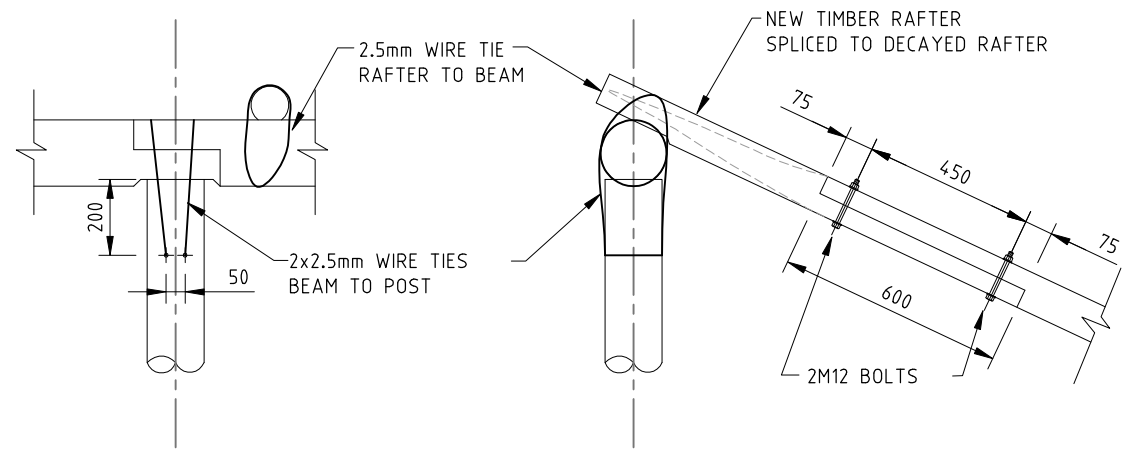
TYPICAL BEAM TO POST CONNECTION DETAIL

SCALE 1:20



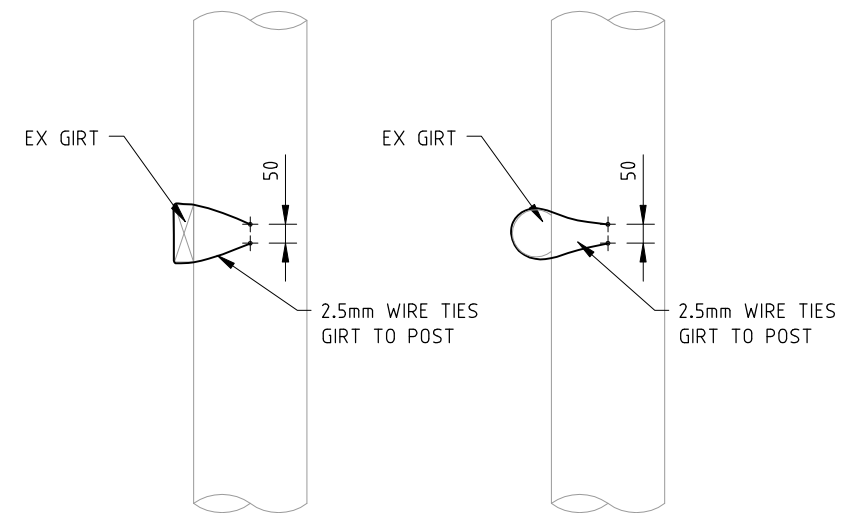
TYPICAL POST EXTENSION DETAILS

SCALE 1:20



TYPICAL RAFTER TO BEAM CONNECTION DETAIL

SCALE 1:20



TYPICAL GIRT TO POST DETAILS

SCALE 1:20

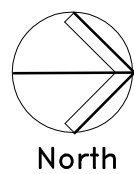
NOTES:

1. ALL WIRE TIES TO BE Ø2.5mmØ2.5mm GALVANISED, TENSIONED AND TIED OFF
2. ALL SCREWS AND BOLTS TO BE GALVANISED
3. PSR DENOTES "POLESAVER ROD" OR APPROVED EQUIVALENT, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
4. STABILISE DGB20 USING 4% GP CEMENT

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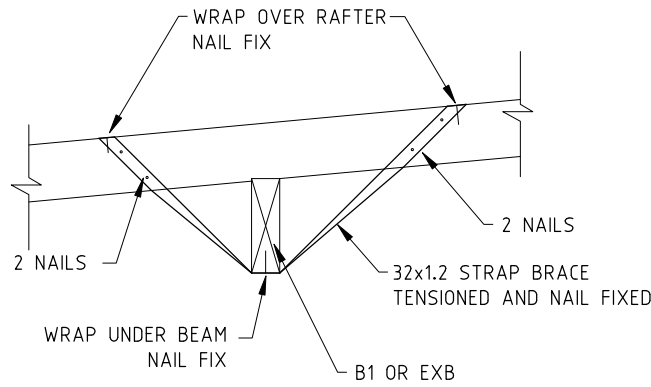
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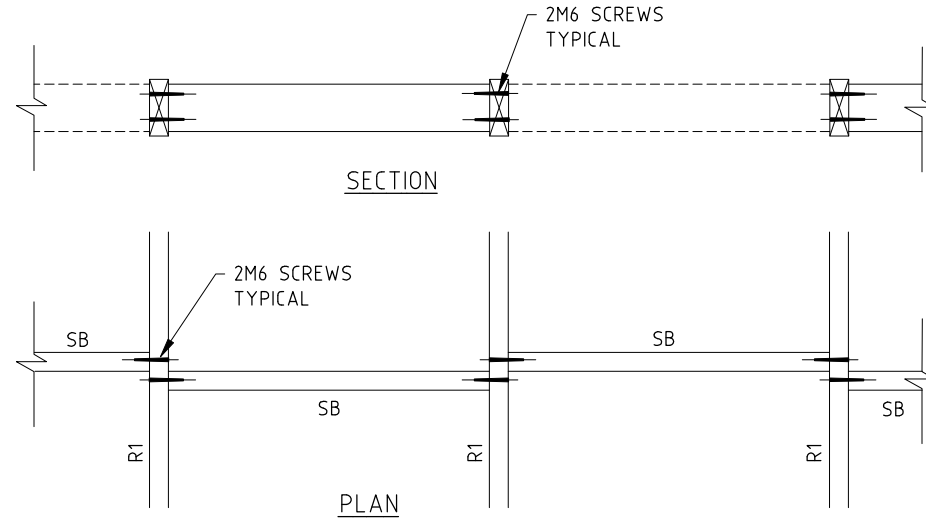
Project	HADLEY PARK - STAGE 1 113 CASTLEREAGH ROAD CASTLEREAGH
Client	DEPT PLANNING, INDUSTRY & ENVIRONMENT
Architect / Project Manager	JPA&D

Drawing Title	TIMBER REMEDIAL WORKS SECTIONS AND DETAILS SHEET 1
Scales	1:100; 1:20
Date	JUNE 2022
Drawing No.	1842- S108
8 OF 9	Revision B



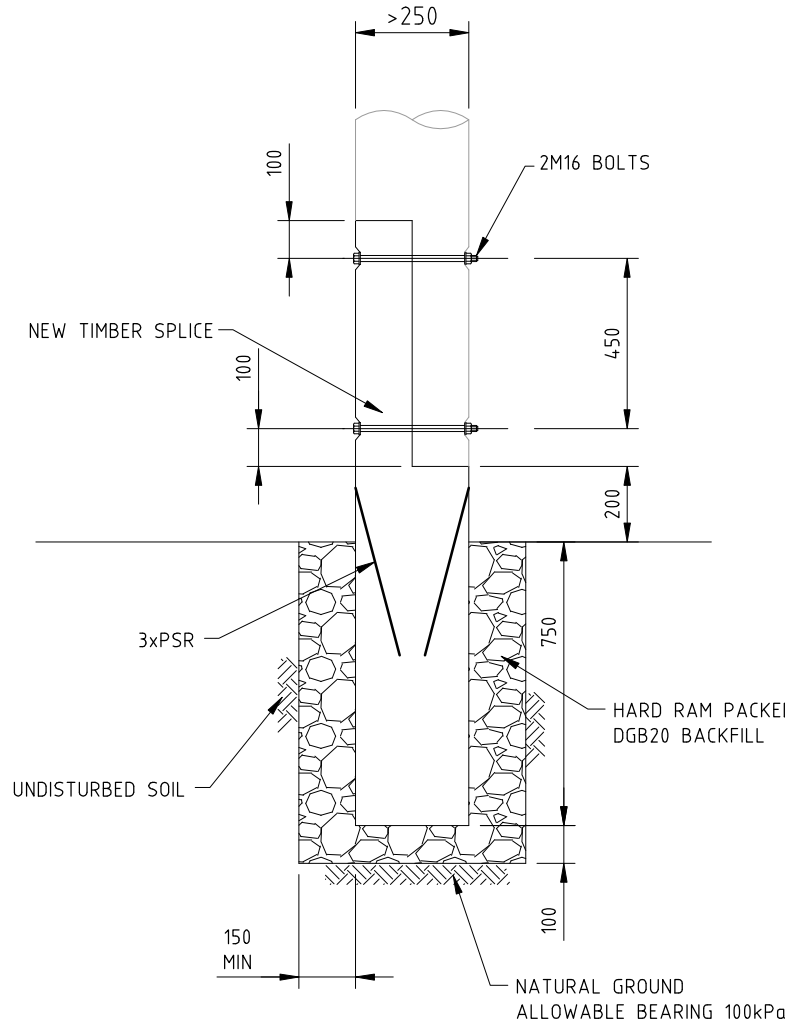
BEAM FLYBRACE (FB) DETAIL

SCALE 1:20
ALL NAILS Ø3.15x32 GALV



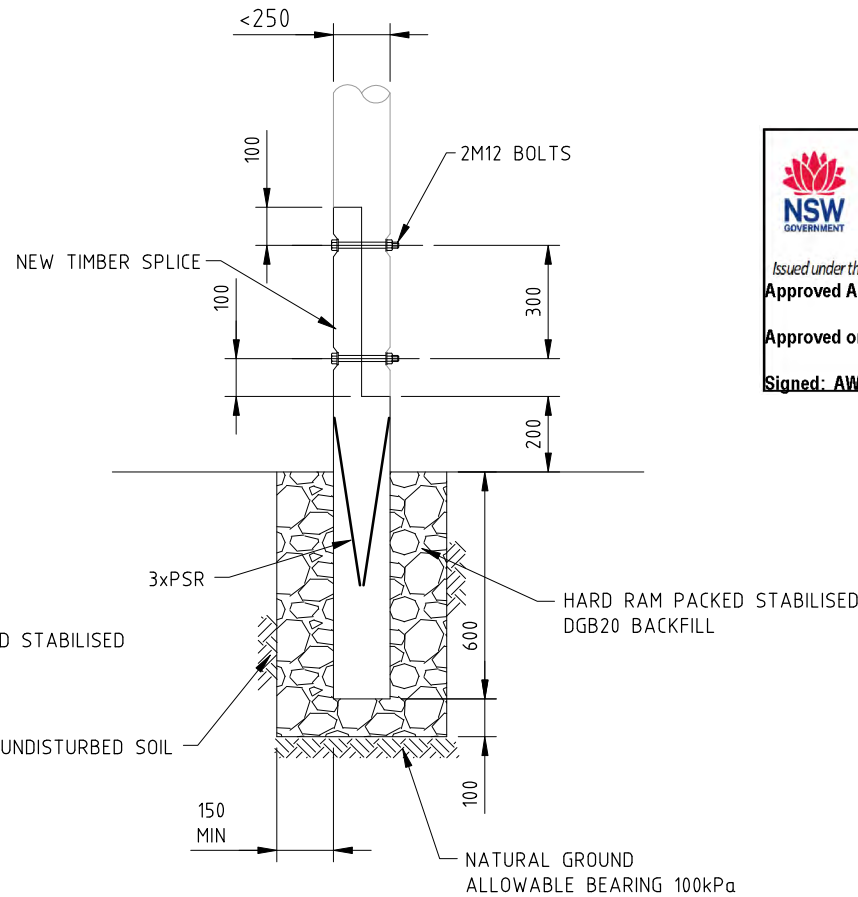
RAFTER SOLID BLOCKING DETAIL

SCALE 1:20

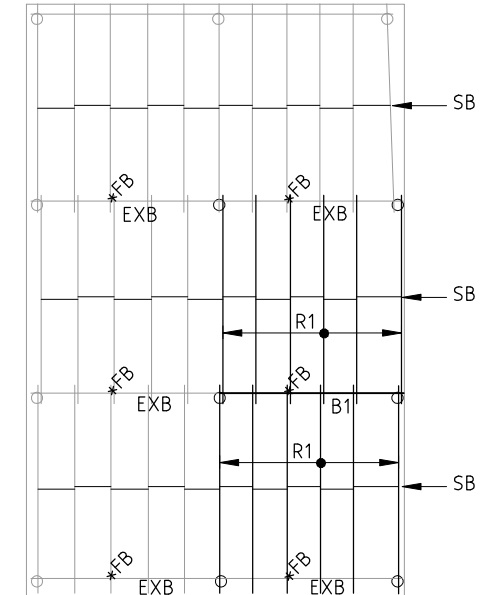


TYPICAL POST BASE SPLICE DETAILS

SCALE 1:20



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Approved on: 23 June 2023
Signed: AW Sheet No: 31 of 35



HAY SHED ROOF PLAN

SCALE 1:200

SCHEDULE:

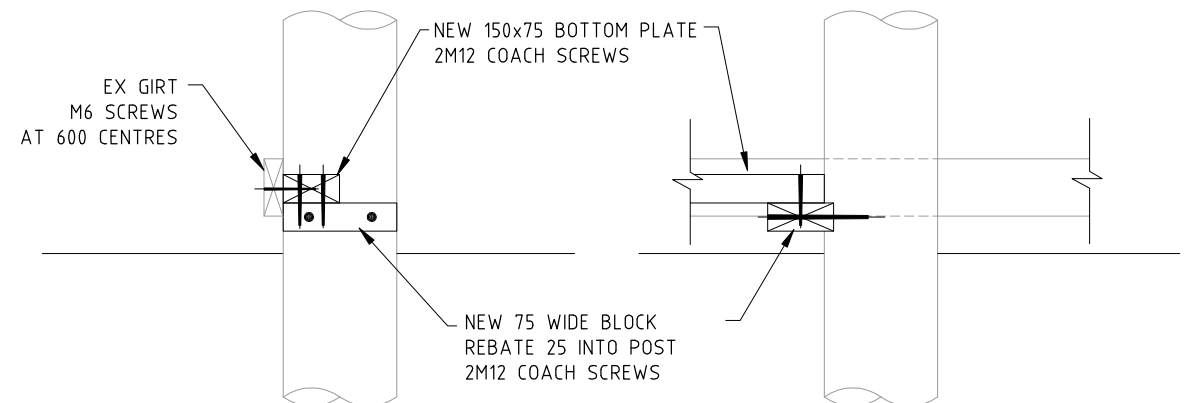
- EXB- EXISTING ROOF BEAM
- B1- 250x75 F14 (ROOF BEAM)
- R1- 150x50 F14 AT 900 CENTRES (TO MATCH) (RAFTERS)
- SB- 125x50 F11 (SOLID BLOCKING)
- FB- 32x1.2 PRYDA STRAP BRACE, TENSIONED (FLY BRACING)

REPLACE BADLY DAMAGED RAFTERS AND ROOF BEAMS WITH R1 AND B1, AS DIRECTED BY THE SUPERINTENDENT

BATTENS- 50x75 (OR TO MATCH), SCREW FIXED TO THE RAFTERS AS PER AS168.

SKEW SCREW RAFTERS TO BEAMS AND WORE TIE, AS DETAILED
BOLT ROOF BEAMS TO POSTS AS DETAILED

ALL EXISTING BATTENS, RAFTERS, BEAMS AND POSTS TO BE INSPECTED AND APPROVED FOR RE-USE BY THE ENGINEER



TYPICAL BOTTOM PLATE DETAILS

SCALE 1:20

Revision	Amendment or reason for issue	Issue date	Drawing Completed by	Designed & dwg. checked by
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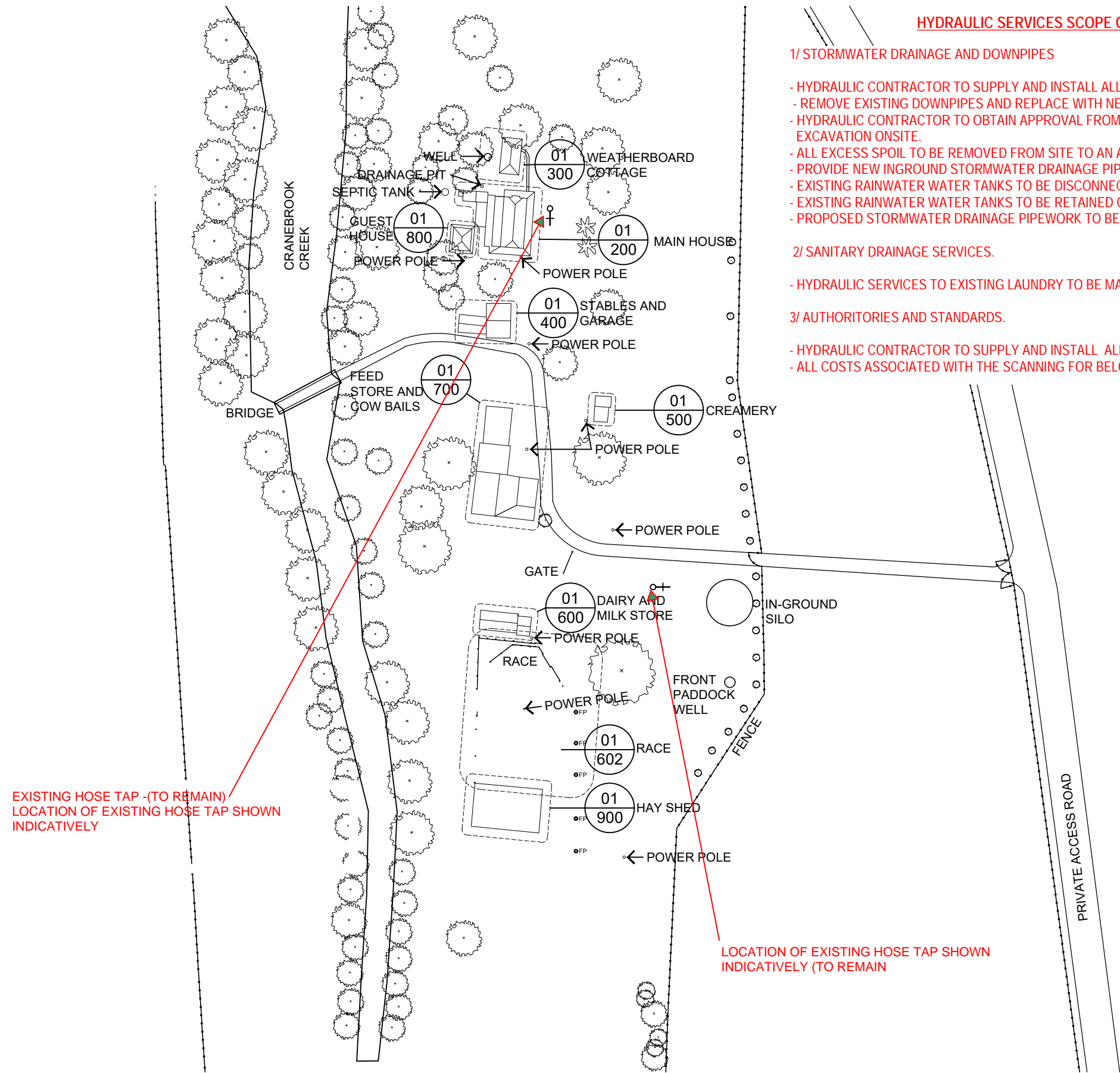


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Project	HADLEY PARK - STAGE 1 113 CASTLEREAGH ROAD CASTLEREAGH
Client	DEPT PLANNING, INDUSTRY & ENVIRONMENT
Architect / Project Manager	JPA&D

Drawing Title	TIMBER REMEDIAL WORKS SECTIONS AND DETAILS SHEET 2
Scales	1:200; 1:20
Date	JUNE 2022
Drawing No.	1842-S109
9 OF 9	Revision B



HYDRAULIC SERVICES SCOPE OF WORKS

1/ STORMWATER DRAINAGE AND DOWNPIPES

- HYDRAULIC CONTRACTOR TO SUPPLY AND INSTALL ALL NEW GUTTERS INCLUDING BRACKET SUPPORT, DOWNPIPES AND INGROUND STORMWATER DRAINAGE.
- REMOVE EXISTING DOWNPIPES AND REPLACE WITH NEW AS SHOWN ON THE HYDRAULIC AND ARCHITECTURAL DRAWINGS.
- HYDRAULIC CONTRACTOR TO OBTAIN APPROVAL FROM HERITAGE CONSULTANT AND ARCHITECT INCLUDING CLIENT REPRESENTATIVE BEFORE COMMENCING EXCAVATION ONSITE.
- ALL EXCESS SPOIL TO BE REMOVED FROM SITE TO AN APPROVED LOCATION AT THE EXPENSE OF THE HYDRAULIC CONTRACTOR.
- PROVIDE NEW INGROUND STORMWATER DRAINAGE PIPEWORK TO PICK UP NEW DOWNPIPES.
- EXISTING RAINWATER WATER TANKS TO BE DISCONNECTED FROM THE EXISTING ROOF GUTTER DOWNPIPES.
- EXISTING RAINWATER WATER TANKS TO BE RETAINED ONSITE UNLESS NOTED OTHERWISE BY ARCHITECTS AND CLIENT REPRESENTATIVE.
- PROPOSED STORMWATER DRAINAGE PIPEWORK TO BE SEWER GRADE uPVC COMPLYING WITH AS1260

2/ SANITARY DRAINAGE SERVICES.

- HYDRAULIC SERVICES TO EXISTING LAUNDRY TO BE MADE REDUNDANT.

3/ AUTHORITIES AND STANDARDS.

- HYDRAULIC CONTRACTOR TO SUPPLY AND INSTALL ALL PLUMBING AND DRAINAGE SERVICES IN ACCORDANCE WITH AS3500 AND NCC PLUMBING CODES.
- ALL COSTS ASSOCIATED WITH THE SCANNING FOR BELOWGROUND SERVICES BEFORE EXCAVATION COMMENCES SHALL BE BORNE BY THE HYDRAULIC CONTRACTOR.

NSW GOVERNMENT Department of Planning and Environment

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Approved on: 23 June 2023

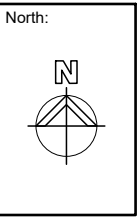
Signed: AW Sheet No: 32 of 35

EXISTING HOSE TAP -(TO REMAIN)
LOCATION OF EXISTING HOSE TAP SHOWN
INDICATIVELY

LOCATION OF EXISTING HOSE TAP SHOWN
INDICATIVELY (TO REMAIN)

Rev:	Date:	Description:	Checked:
P1	14/12/2022	PRELIMINARY ISSUE - DA SUBMISSION	KA
P2	15/12/2022	PRELIMINARY ISSUE - DA SUBMISSION	KA
P3	20/12/2022	PRELIMINARY ISSUE - DA SUBMISSION	KA

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Project Manager:

Architect:

Consulting Engineer:

VOS Group
Consulting Engineers

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SYDNEY • GOLD COAST • MELBOURNE • WOLLONGONG • CANBERRA

Project:

**HADLEY PARK
STAGE 1**

14-278 OLD CASTLEREAGH
ROAD CASTLEREAGH

NOT FOR PRICING

NOT FOR CONSTRUCTION

HYDRAULIC SERVICES

Title: SITE PLAN
HYDRAULIC SERVICES

Drawing No: H-01

Issue : P3

Scale: 1 - 1000
@A3

Date Set Up: Dec-22

Project Manager: ENG

CTL: CAD

Project No: 22.6086

NEW 150 SW DRAINAGE OUTLET
EXTENDED TO CRANBROOK CREEK
TERMINATING WITH A CONCRETE
HEADWALL

NEW 600 X 600 SW PIT
WITH CLASS B GRATE

STORMWATER DRAINAGE:
RE-ROUTE EXISTING DOWNPIPES TO DRAIN BELOW
GROUND TO PIT NEAR LAUNDRY. CHECK PIT AND LINES
DRAIN CORRECTLY. EXTEND OUTLET TO CRANBROOK
CREEK TO WEST OF SITE.

NEW 150 SW DRAINAGE

NEW 600 X 600 SW PIT
WITH CLASS B GRATE

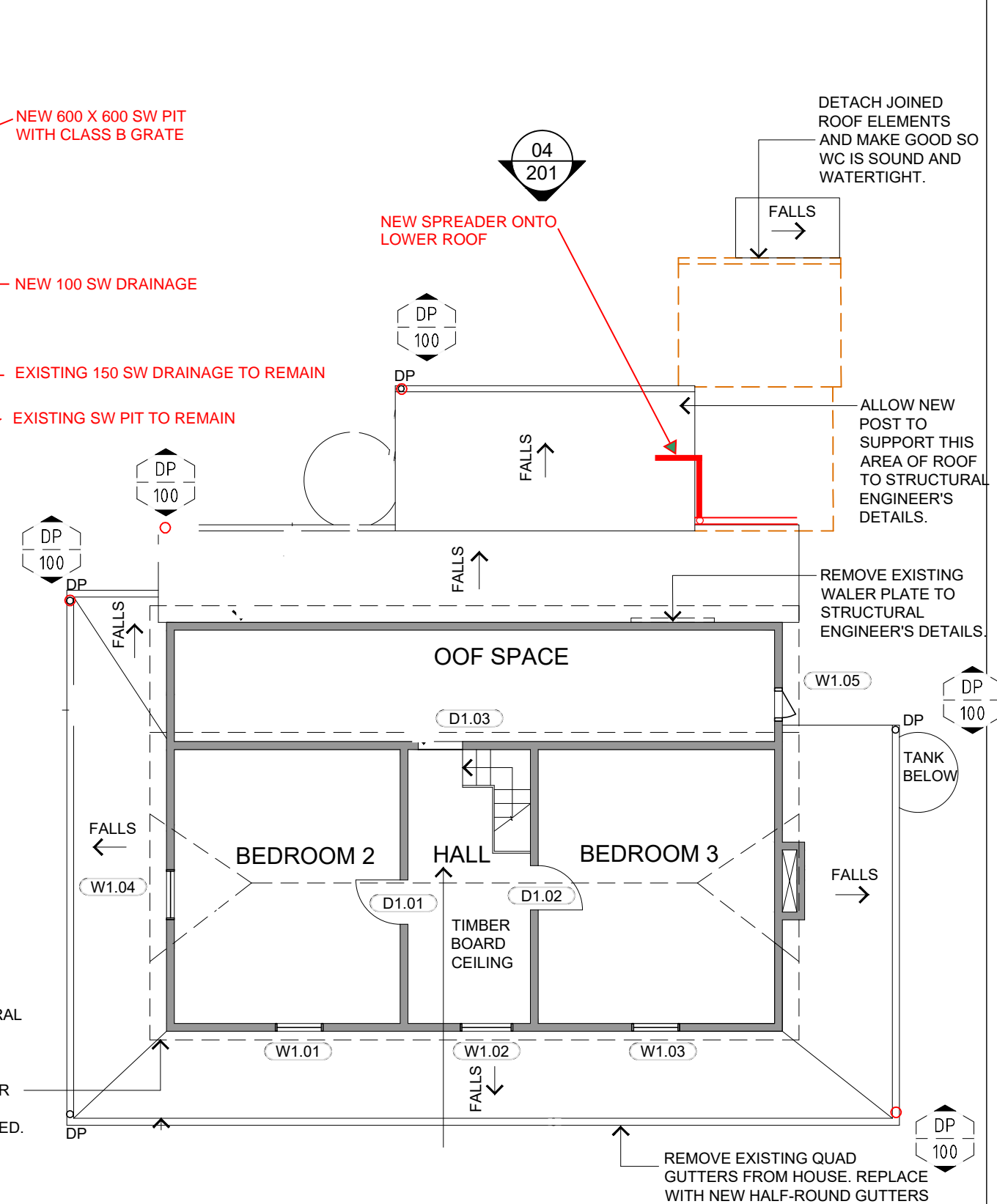
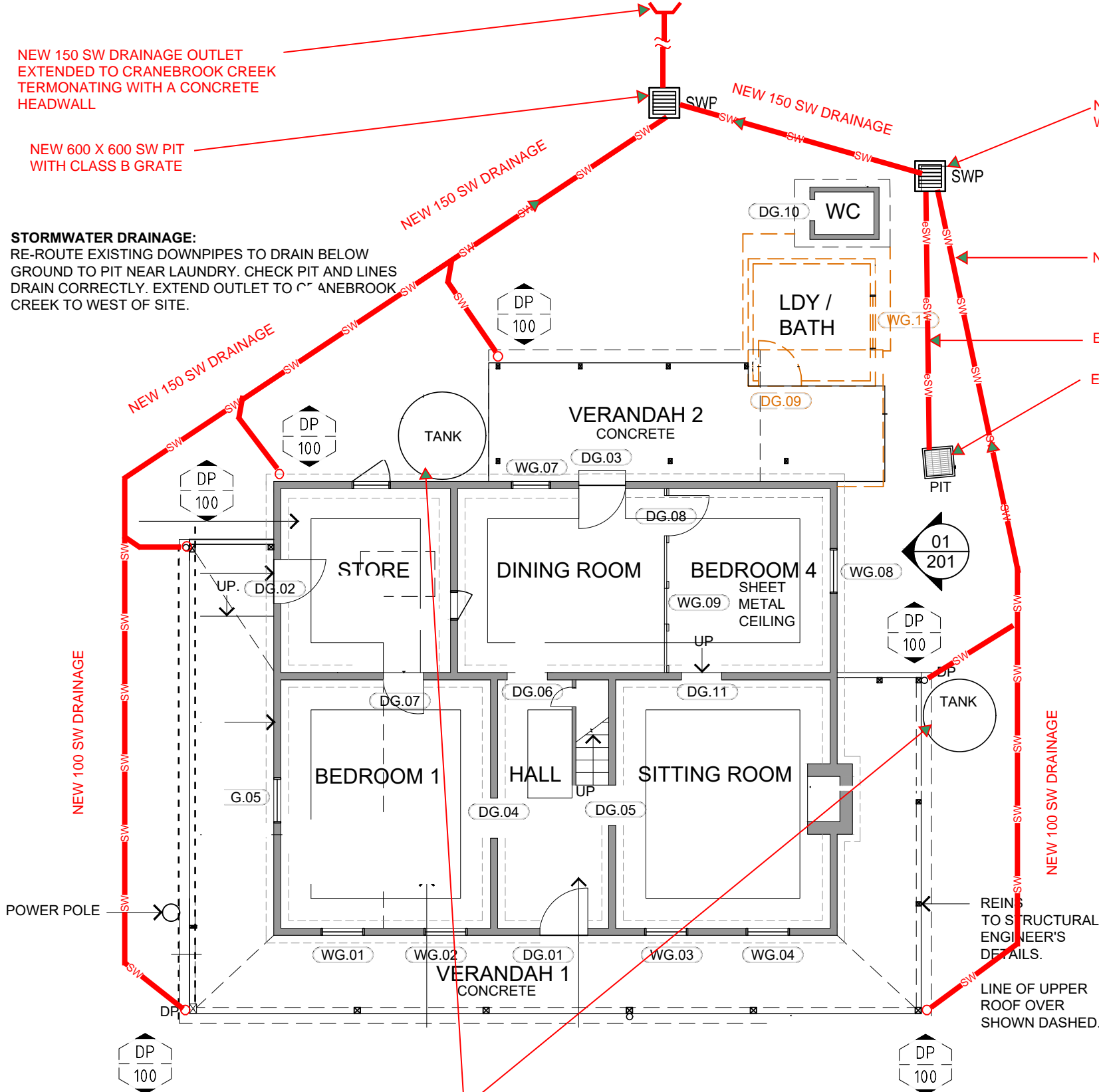
NEW SPREADER ONTO
LOWER ROOF

DETACH JOINED
ROOF ELEMENTS
AND MAKE GOOD SO
WC IS SOUND AND
WATERTIGHT.

ALLOW NEW
POST TO
SUPPORT THIS
AREA OF ROOF
TO STRUCTURAL
ENGINEER'S
DETAILS.

REMOVE EXISTING
WATER PLATE TO
STRUCTURAL
ENGINEER'S DETAILS.

REMOVE EXISTING QUAD
GUTTERS FROM HOUSE. REPLACE
WITH NEW HALF-ROUND GUTTERS
SIZED TO MATCH. GALVANISED
STEEL FINISH. CONNECT TO
EXISTING DOWNPIPES.



01 PLAN
-- MAIN HOUSE GROUND FLOOR
1:100

02 PLAN
-- MAIN HOUSE FIRST FLOOR
1:100

REFER TO 05/WD202
FOR ROOF PLAN.

 Department of Planning
and Environment
Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 23/907
Approved on: 23 June 2023
Signed: AW Sheet No: 33 of 35

Consulting Engineer:

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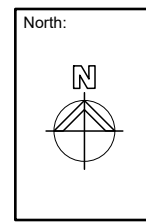
Project:
**HADLEY PARK
STAGE 1**
14-278 OLD CASTLEREAGH
ROAD CASTLEREAGH

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HYDRAULIC SERVICES
Title: GROUND & FIRST FLOOR
Stormwater Drainage
Drawing No: H-02
Issue: P2
Scale: 1:100
Date Set Up: Dec-22
Project Manager: ENG
CTL: CAD
Project No: 22.6086

Rev.	Date:	Description:	Checked:
P1	14/12/2022	PRELIMINARY ISSUE - DA SUBMISSION	KA
P2	20/12/2022	PRELIMINARY ISSUE - DA SUBMISSION	KA

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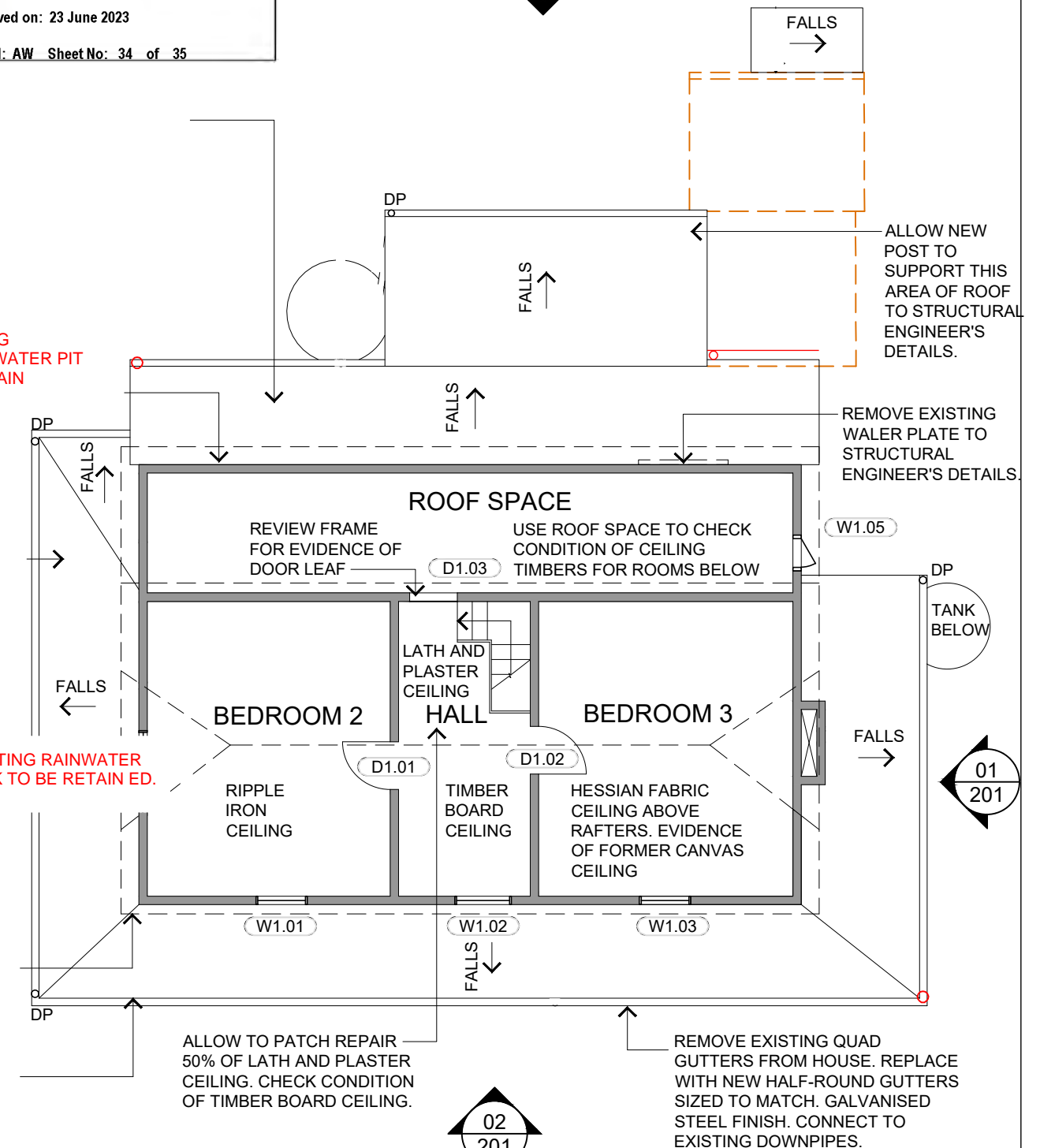
Project Manager:

Architect:

EXISTING RAINWATER
TANK TO BE RETAIN ED.



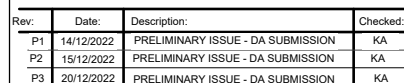
EXISTING RAINWATER
TANK TO BE RETAINED



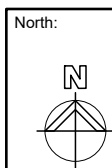
02 PLAN
-- MAIN HOUSE FIRST FLOOR
1:100

REFER TO 05/WD202
FOR ROOF PLAN.

01 PLAN
-- MAIN HOUSE GROUND FLOOR
1:100



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**HADLEY PARK
STAGE 1**
14-278 OLD CASTLEREAGH
ROAD CASTLEREAGH

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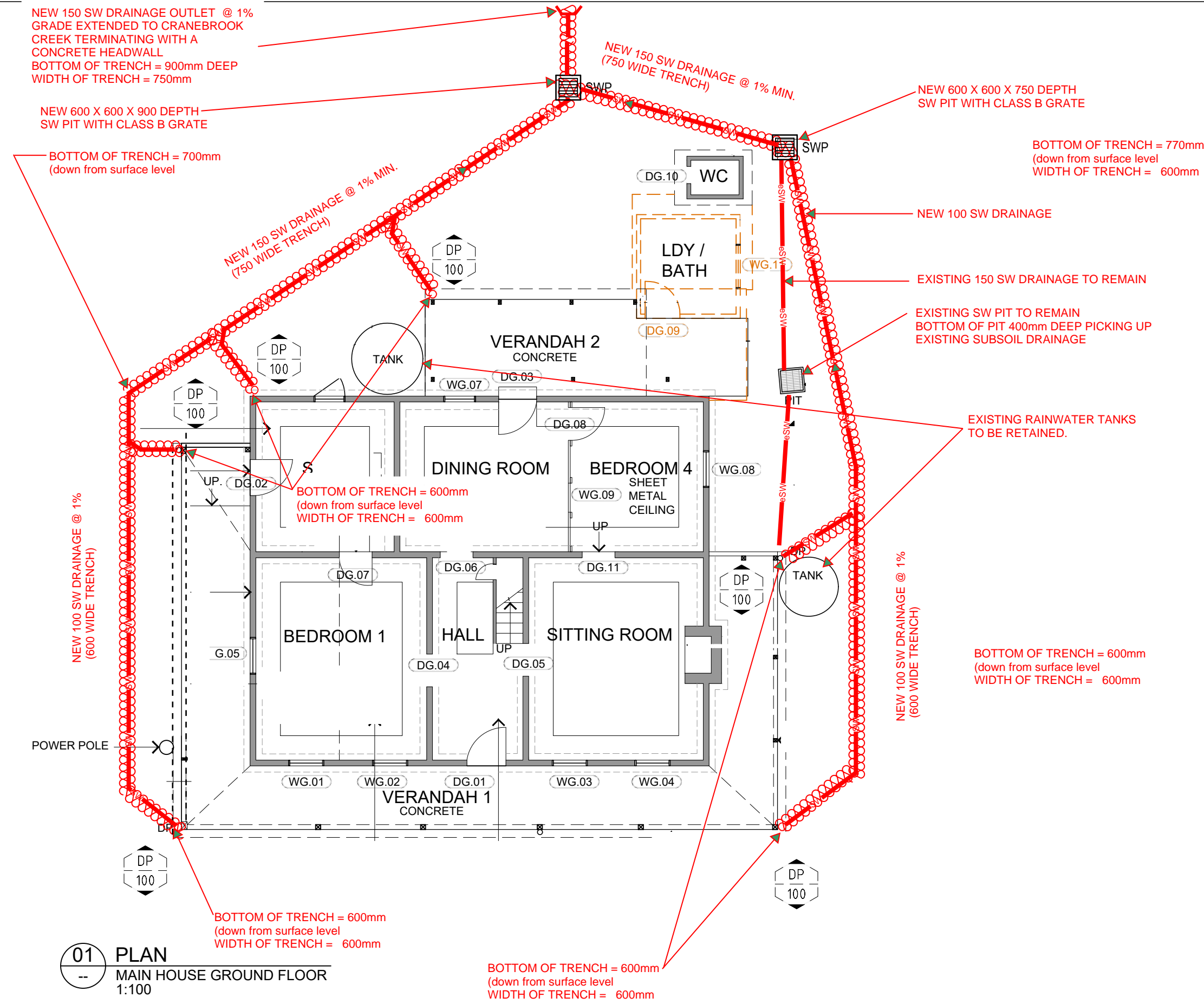
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HYDRAULIC SERVICES

Title: _____ Drawing No: _____

GROUND & FIRST FLOOR
HYDRAULIC SERVICES

Scale:	Date Set Up:	Project Manager:	CTL:	Project No:
1 - 100 @A3	Dec-22	ENG	CAD	22.6086




 Department of Planning and Environment

Issued under the Environmental Planning and Assessment Act 1979
Approved Application No: DA 23/907

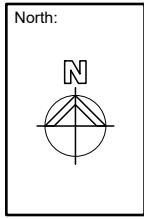
Approved on: 23 June 2023
Signed: AW Sheet No: 35 of 35

01 PLAN
MAIN HOUSE GROUND FLOOR
1:100



Rev.	Date:	Description:	Checked:
P1	15/12/2022	PRELIMINARY ISSUE - DA SUBMISSION	KA
P2	20/12/2022	PRELIMINARY ISSUE - DA SUBMISSION	KA

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Project:

**HADLEY PARK
STAGE 1**

14-278 OLD CASTLEREAGH
ROAD CASTLEREAGH

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HYDRAULIC SERVICES

Title: GROUND & FIRST FLOOR
TRENCH DRAINAGE

Drawing No: H-04
Issue: P2

Scale: 1 - 100 @ A3
Date Set Up: Dec-22
Project Manager: ENG
CTL: CAD
Project No: 22.6086